

# BID SET - BID ADDENDUM #1 - 2.10.2023

## Bremen Township - 15350 Oak Park Avenue Senior Services Building Rear Addition

### GENERAL REQUIREMENTS AND AGREEMENTS

- The Architect shall not be liable or responsible for the quality of workmanship used on the job or the quality of materials selected.
- Architect shall not be responsible for any site inspection of the work quality or progress, unless specifically agreed upon as an additional service.
- All work performed must be in conformance with current applicable codes. Contractor shall inform architect of items on the drawings, which may conflict with the local codes, so these items may be resolved prior to construction.
- Architect is not supervising construction. Therefore, the use of these drawings by any contractor, subcontractor, builder, or workman shall constitute a hold harmless agreement between the drawing user and architect.
- All contractors and their representatives working on this project shall at all times, prior and during the course of their activity, be responsible for safety of their employees as well as others.
- The intent of the contract documents is to include all items required for completion of the work described. In case of conflict or ambiguity, the contractor will be deemed to have estimated on, and agreed to provide, the greater quantity and/or better quality materials and/or work. Omission in the description of the work does not relieve the contractor from delivering a complete project.
- The Architect shall not be responsible for any changes to the design undertaken by the contractor without prior notification of the architect.
- Architect does not warrant from these drawings as portraying the as built conditions. Each contractor shall verify existing conditions and dimensions prior to bidding and construction and report any discrepancies to the architect immediately.
- Any subcontractor work shall be of quality to pass inspections by local authorities, lending institutions, architect, or general contractor. Any one or all of the above mentioned inspectors may inspect workmanship at any time, and any corrections needed to enhance the quality of building will be done immediately.
- Each subcontractor unless specifically exempted by the terms of his subcontract agreement, shall be responsible for cleaning up and removing from the jobsite all trash and debris not left by others.
- All manufactured articles, materials, and equipment shall be applied, installed, erected, used, cleaned, and conditioned in accordance with manufacturer specifications.
- Any specific products or manufacturers referenced or specified on architect's plans are used as basis of design. When followed by words "or equal", the contractor shall have the option of installing a substantially equal product by same or different manufacturer. The equal product must be approved by the architect and the owner prior to installation.
- All alternates are at the option of the owner and shall be at the owners request, constructed in addition to or in lieu of the typical condition.



### DRAWING INDEX

- T-1.0 Title Page
- T-1.1 Code Analysis & Diagrams
- A-0.1 Site Plan and Site Demolition Plan
- A-1.0 First Floor & Roof Plan
- A-2.0 Elevations & Building Sections
- A-2.1 Bathroom Interior Elevations
- A-2.2 Interior Elevations
- A-3.0 Wall Sections
- S-1.0 Structural - General Notes and Specifications
- S-2.0 Structural Foundation Plan and Details
- S-2.1 Structural First Floor Plan and Details
- M-1.0 Mechanical Plan and Schedules
- E-1.0 Electrical Plan and Schedules
- P-1.0 Plumbing Plan and Schedules

### LOCATION MAP



### SCOPE DOCUMENT

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### GENERAL NOTES

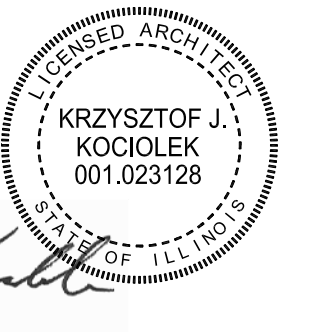
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*Krzysztof J. Kociolek*

Professional Design Firm # 184.008296

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4	Addendum #1	2/10/23
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2	Issued for Permit	07/13/22
1	Design Development Set	06/17/22

### Design Development Set

Client  
**Bremen Township**  
16361 Kedzie Parkway  
Markham, IL 60428



PROJECT  
**Senior Services Building  
Rear Addition**  
15350 Oak Park Ave  
Oak Forest, IL 60452

SHEET TITLE  
**Title Page**

PROJECT NO. <b>21-06</b>	<b>T-1.0</b>
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# CODE SUMMARY

PROJECT DESCRIPTION	A SINGLE-STORY ADDITION TO AN EXISTING 2-STORY, FULLY SPRINKLERED BUILDING, WITH SEPARATED USES		APPLICABLE BUILDING CODE REFERENCE
USE	MULTI-PURPOSE ROOM (ADDITION)	ADMINISTRATIVE OFFICES (EXISTING BLDG.)	
CONSTRUCTION TYPE	TYPE VA, SEPARATED USES, FULLY SPRINKLERED		2018 IBC - 602.5
OCCUPANCY GROUP	A-3 ASSEMBLY (ADDITION)	B BUSINESS (EXISTING BLDG.)	2018 IBC - 303.4, 304.1
ALLOWABLE AREA PER STORY	46,000 SF (ONE STORY, FULLY SPRINKLERED)	54,000 SF (MULTI-STORY, FULLY SPRINKLERED)	2018 IBC - TABLE 506.2
ACTUAL AREA PROVIDED PER STORY	1,960 SF (ONE STORY, FULLY SPRINKLERED)	1ST STORY - 3,232 SF (EXISTING) 2ND STORY - 3,769 SF (EXISTING)	
TOTAL ALLOWABLE AND ACTUAL BUILDING AREA IN EACH STORY FOR MIXED-USE BUILDING WITH SEPARATED OCCUPANCIES	1ST STORY: $1,960 / 46,000 = 0.043$ (A-3 OCCUPANCY) $3,232 / 54,000 = 0.060$ (B OCCUPANCY) $0.043 + 0.060 = 0.103$ (SUM OF RATIOS OF EACH OCCUPANCY) $0.103 < 1.0$ MEETS LIMITS OF SECTION 508.4.2 2ND STORY: $3,769 / 54,000 = 0.070$ $0.070 < 1.0$ MEETS LIMITS OF SECTION 508.4.2		2018 IBC - 508.4.2
ALLOWABLE BUILDING HEIGHT	70 FT (FULLY SPRINKLERED)		2018 IBC - TABLE 504.3
ACTUAL BUILDING HEIGHT	25'-5" (EXISTING, MEASURED TO MEAN HEIGHT OF ROOF)		
ALLOWABLE STORIES	3 STORIES (FULLY SPRINKLERED)	4 STORIES (FULLY SPRINKLERED)	2018 IBC - TABLE 504.4
ACTUAL BUILDING HEIGHT	1 STORY (FULLY SPRINKLERED)	2 STORIES (EXISTING, FULLY SPRINKLERED)	
FIRE RESISTANCE RATINGS	PRIMARY STRUCTURAL FRAME 1 HR BEARING WALLS EXTERIOR 1 HR BEARING WALLS INTERIOR 1 HR NON-BEARING WALLS INT. 0 HR NON-BEARING WALLS EXT. 0 HR (FIRE SEPARATION DISTANCE ON ALL SIDES EXCEEDS 30 FT) FLOOR CONSTRUCTION 1 HR ROOF CONSTRUCTION 1 HR		2018 IBC - TABLE 601 2018 IBC - TABLE 602
OCCUPANCY SEPARATION	1 HR BETWEEN "A-3" AND "B" OCCUPANCIES		2018 IBC - TABLE 508.4

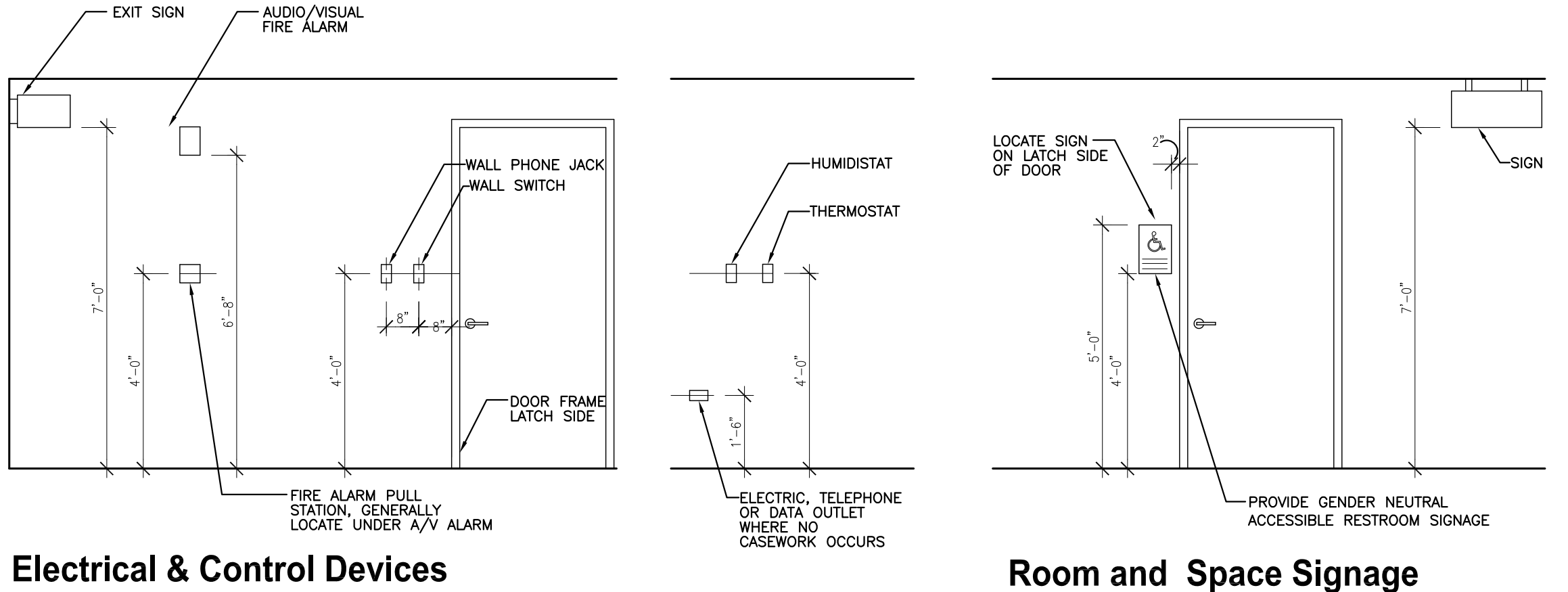
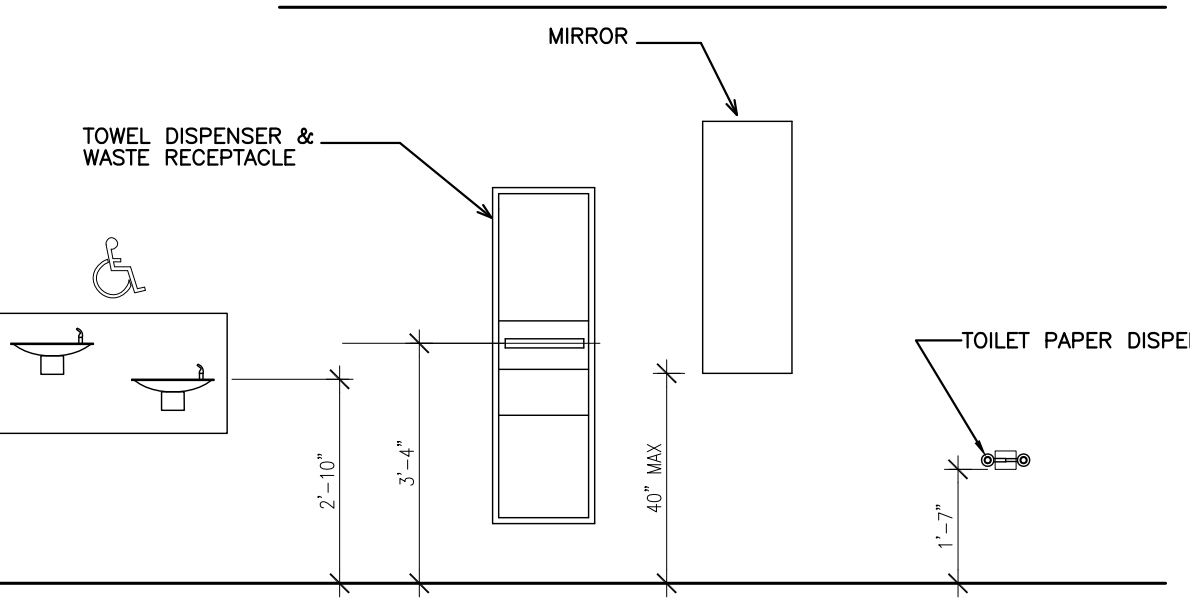
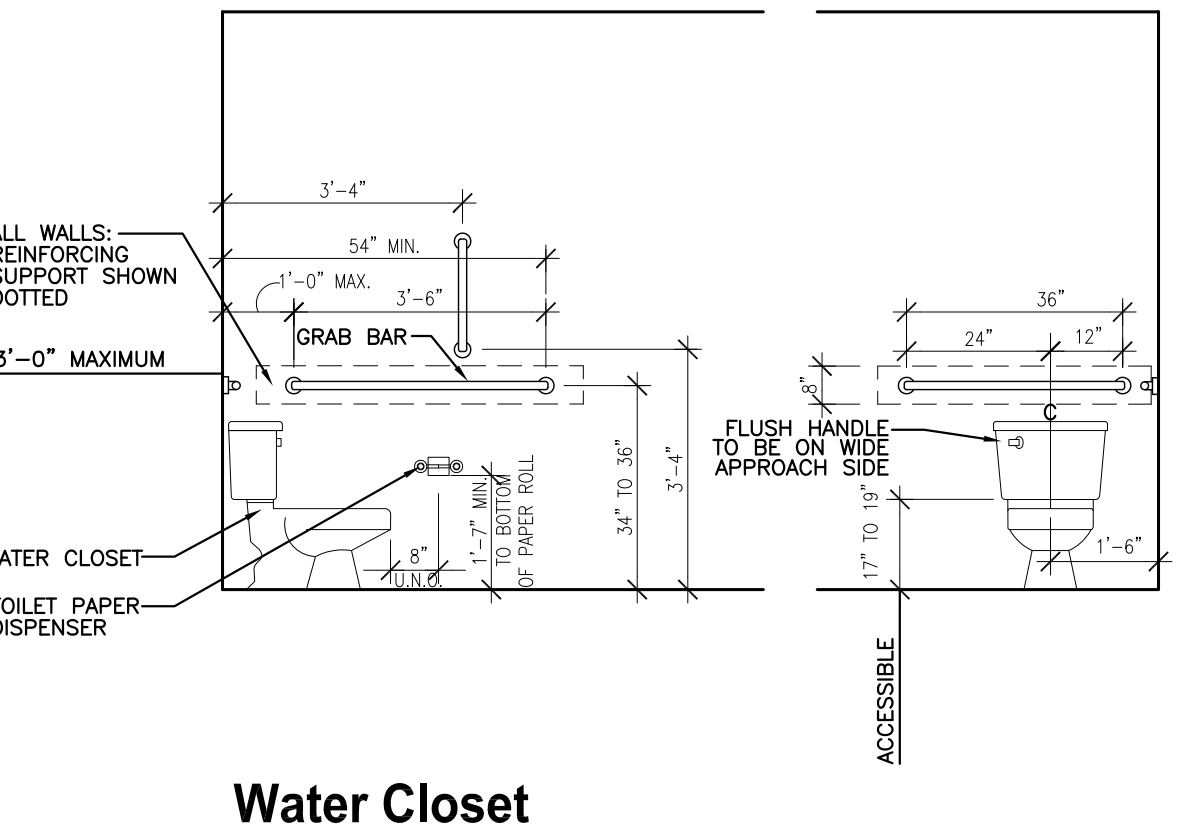
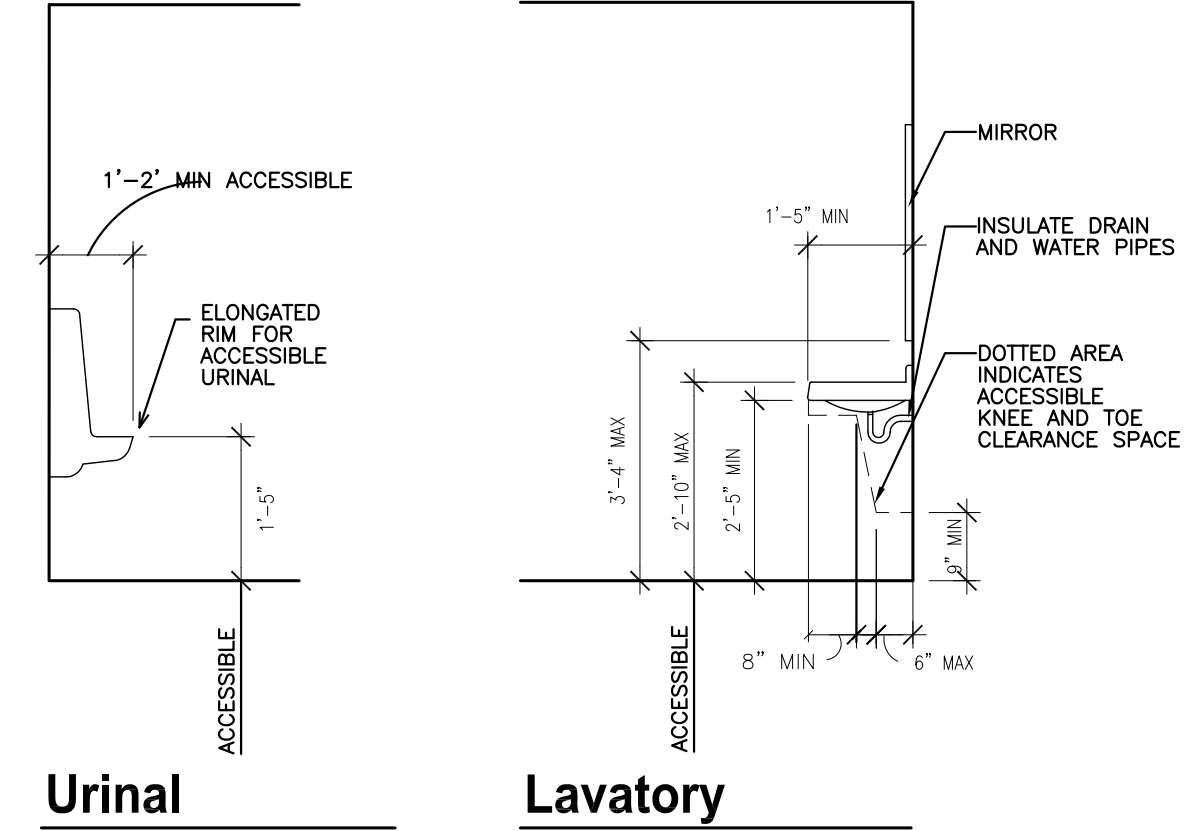
# ENERGY REQUIREMENTS 2018 IECC - ZONE 5 - PRESCRIPTIVE

COMPONENT	REQUIRED	PROVIDED
WALLS ABOVE GRADE (WOOD FRAMED)	R-13 + 3.8ci or R-20	R-20 CLOSED CELL SPRAY FOAM
ROOF W/O ATTIC	R-38	R-38 CLOSED CELL SPRAY FOAM
SLAB ON GRADE	R-10, 24" BELOW	R-10, 24" BELOW
DOOR (SWINGING)	U-0.37	U-0.37
DOOR (NON-SWINGING)	R-4.75	R-4.75
FENESTRATION (FIXED)	U-0.38	U-0.38
FENESTRATION (OPERABLE)	U-0.45	U-0.45
FENESTRATION SHGC	0.38	0.38
ENTRANCE DOORS	U-0.77	U-0.77

- ### FIRE & LIFE SAFETY NOTES
- ALL SPRINKLER AND FIRE SAFETY EQUIPMENT/DEVICES TO BE DESIGN-BUILD. ASSOCIATED PERMITS TO BE OBTAINED BY CONTRACTOR.
  - THE ENTIRE SPACE SHALL BE PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13, THE INTERNATIONAL BUILDING CODE AND THE FIRE PREVENTION BUREAU. THE FIRE SPRINKLER CONTRACTOR SHALL SUBMIT ALL REQUIRED DOCUMENTATION AND SECURE THE APPROVAL OF THE AUTHORITIES HAVING JURISDICTION.
  - THE SYSTEM SHALL BE INSPECTED AND TESTED PER 901.5. THE SPRINKLER SYSTEM SHALL NOT BE CONCEALED UNTIL ALL INSPECTIONS OF THE SYSTEM HAVE BEEN APPROVED PER IFC 106.3. THE SPRINKLER SYSTEM PERMIT SHALL BE POSTED ON SITE AND THE APPROVED DRAWINGS TO BE POSTED ON SITE PER IFC 103.5 AND 105.4.6.
  - THE SPACE SHALL PROVIDED WITH PORTABLE FIRE EXTINGUISHERS IN CONFORMANCE WITH NFPA 10; WITHIN 75 FEET OF TRAVEL AND CURRENT NFPA INSPECTION TAGS ATTACHED.
  - (E) - INDICATES PROPOSED LOCATION OF FIRE EXTINGUISHER. IN A SEMI-RECESSED STEEL ADA CABINET. (LARSEN 2409-R7 OR EQUAL)
  - FIRE EXTINGUISHERS TO BE 4A:60B:C U.N.O. (VERIFY WITH FIRE MARSHAL)
  - ALL FIRE ALARM WORK SHALL BE IN CONFORMANCE WITH NFPA 72 AND BE COMPLETED DESIGN/BUILD BY THE GENERAL CONTRACTOR. A FIRE ALARM PERMIT IS REQUIRED FOR THE INSTALLATION OF A FIRE ALARM SYSTEM, PER IFC 105.7.5.

### FIRE SAFETY AND EXITING LEGEND

- EXITING PATH
- 1 HOUR RATED ASSEMBLY
- 45 / 3.3/36 EXIT ACCESS  
REQUIRED EXIT CAPACITY: OCCUPANT LOAD / MIN. REQ. WIDTH / WIDTH PROVIDED
- 45 / 3.3/36 EXIT DISCHARGE  
REQUIRED EXIT CAPACITY: OCCUPANT LOAD / MIN. REQ. WIDTH / WIDTH PROVIDED



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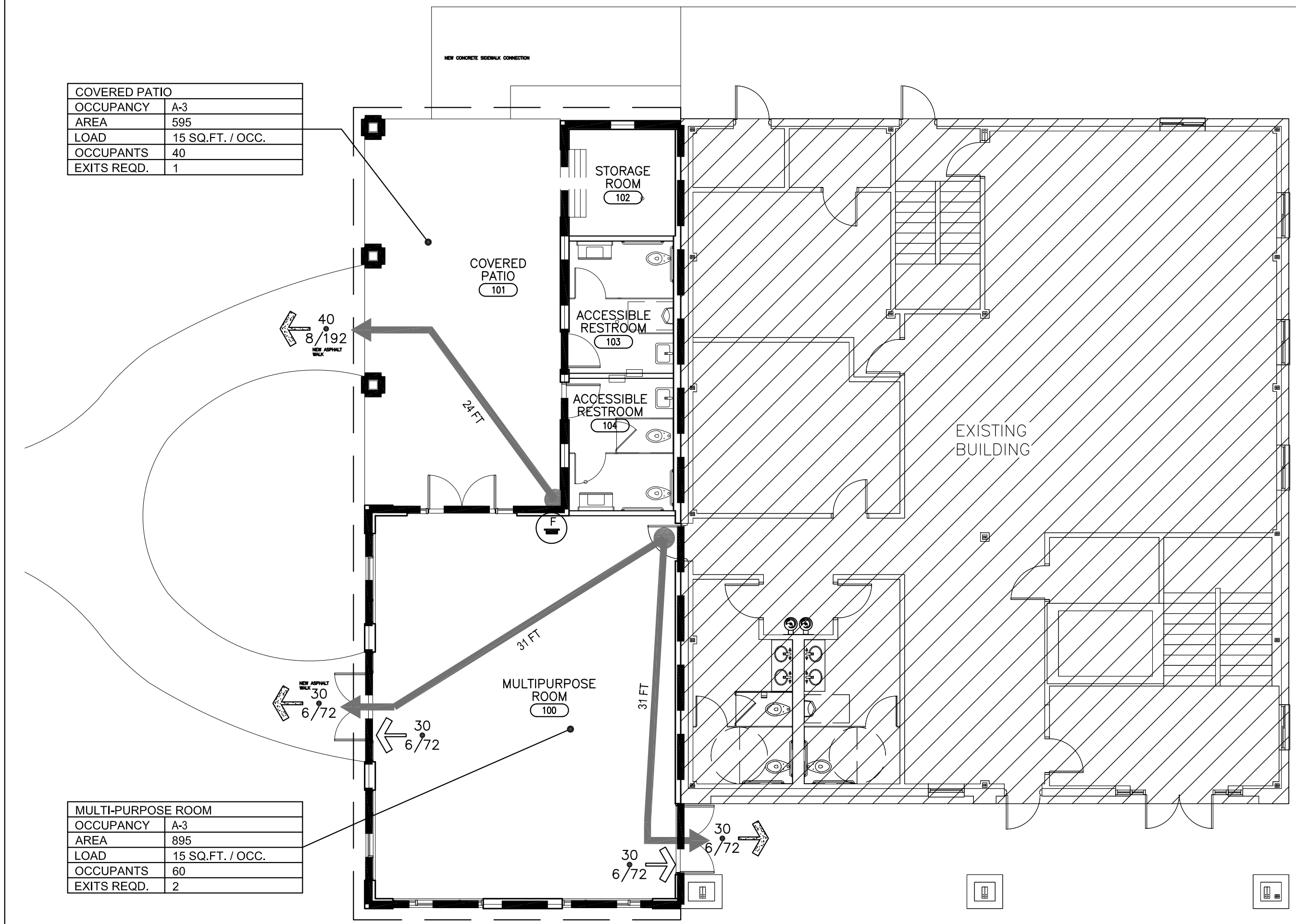
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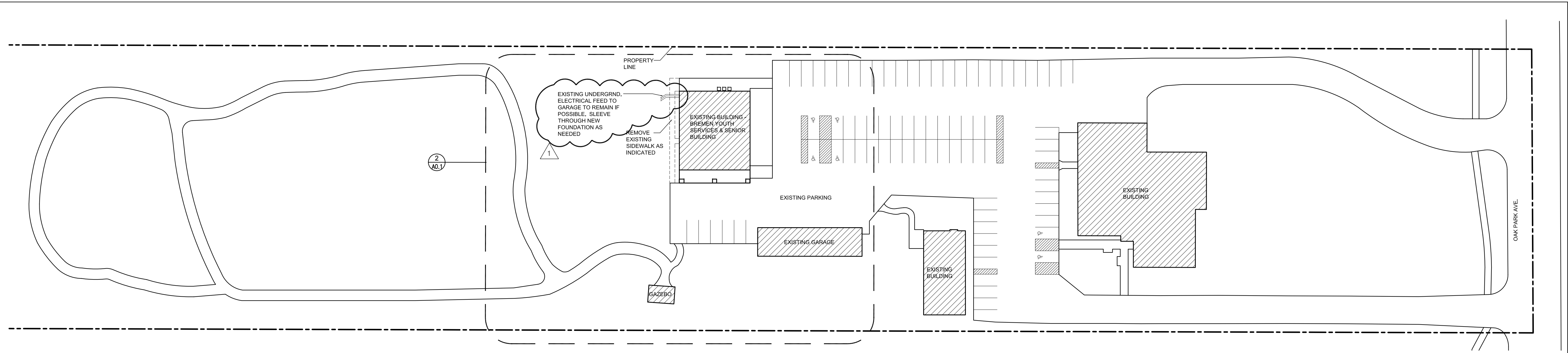
### Code Analysis & Diagrams

PROJECT NO. **21-06** **T-1.1**



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**1 Site Demolition Plan**  
SCALE: 1" = 40'-0"

**PARKING REQUIRED**  
 1 FOR EACH 250 SQ. FT. OF NET FLOOR AREA OR 1 FOR EACH 3 PERSONS OF DESIGN CAPACITY, WHICHEVER IS GREATER.

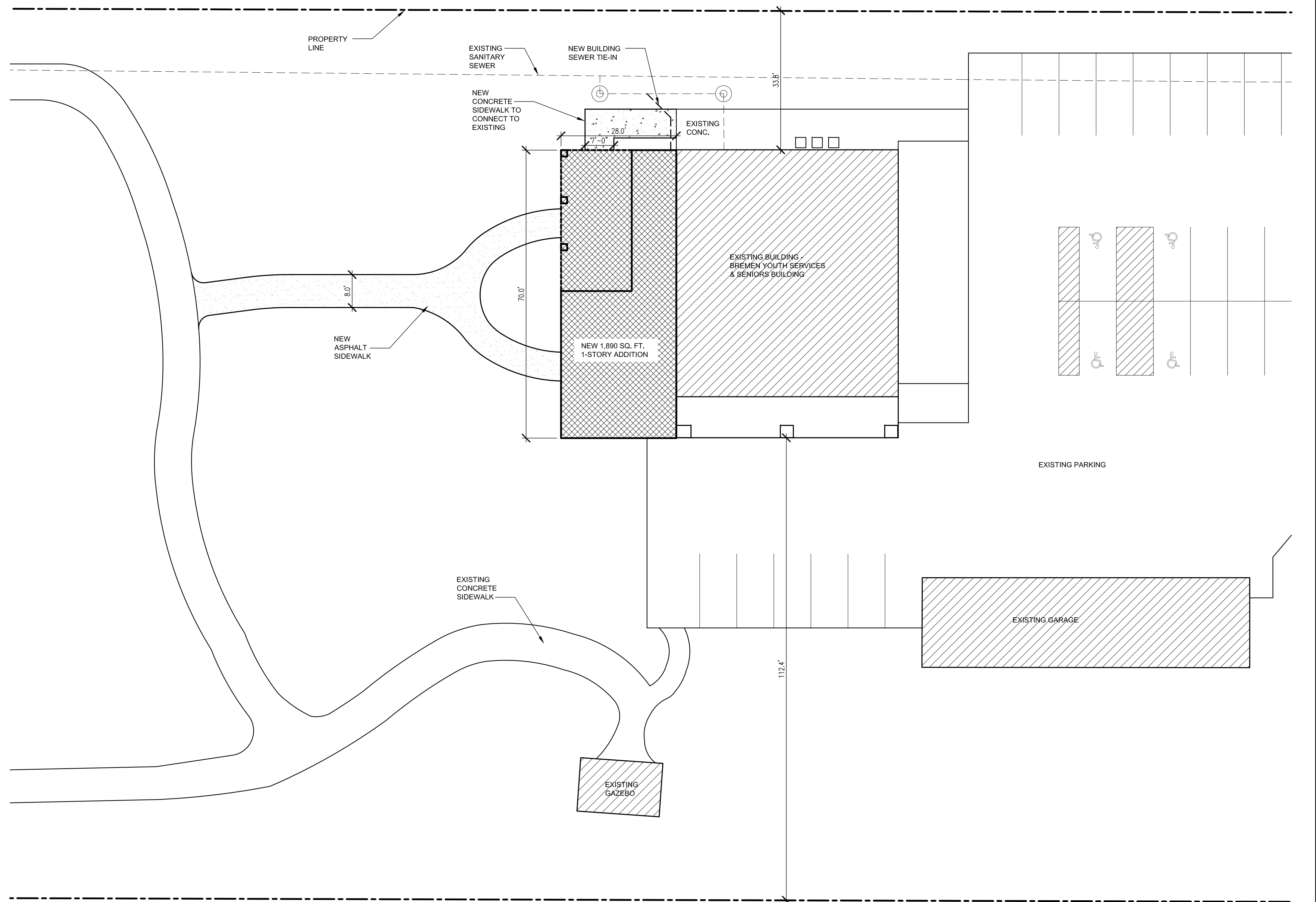
TOTAL AREA OF ALL OCCUPIABLE BUILDINGS ON SITE INCLUDING THE NEW ADDITION: 17,000 SQ. FT.

$17,000 / 250 = 68$  REQUIRED PARKING SPACES

TOTAL NUMBER OF OCCUPANTS: 69 OCCUPANTS REAR BUILDING + 55 OCCUPANTS FRONT BUILDING + 60 NEW OCCUPANTS FOR ADDITION = 185 TOTAL OCCUPANTS

$185 / 3 = 62$  REQUIRED PARKING SPACES

PROVIDED - 81 TOTAL PARKING SPACES, INCLUDING 4 ACCESSIBLE SPACES



**2 Architectural Site Plan**  
SCALE: 1/16" = 1'-0"

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**Site Plan &  
Site Demo Plan**

PROJECT NO. <b>21-06</b>	<b>A-0.1</b>
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Room Num.	Room	Flooring	Base	Wall Material	Ceiling Ht	Ceiling Finish	Notes
100	Multipurpose Room	CT1	CB	GYP BD/WC	SLOPED	GYP BD	Wall Covering to 4'-0" w/matching Acrovyn trim at top
101	Covered Patio	STMP CON	-	-	SLOPED	VINSOF	
102	Storage Room	CON	-	GYP BD	8'-0"	GYP BD	
103	Accessible Restroom	CT2	-	GYP BD/CT3 & CT4	8'-0"	GYP BD	See Sht A2.1 for extent of tile at wall
104	Accessible Restroom	CT2	-	GYP BD/CT3 & CT4	8'-0"	GYP BD	See Sht A2.1 for extent of tile at wall

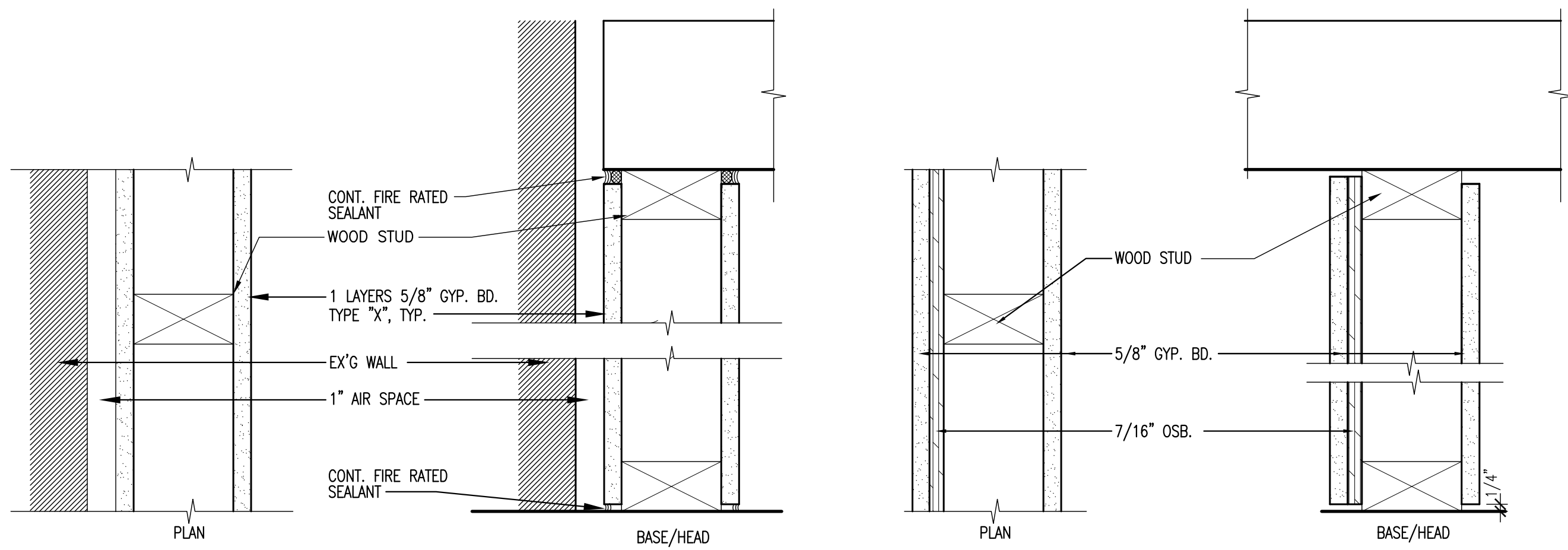
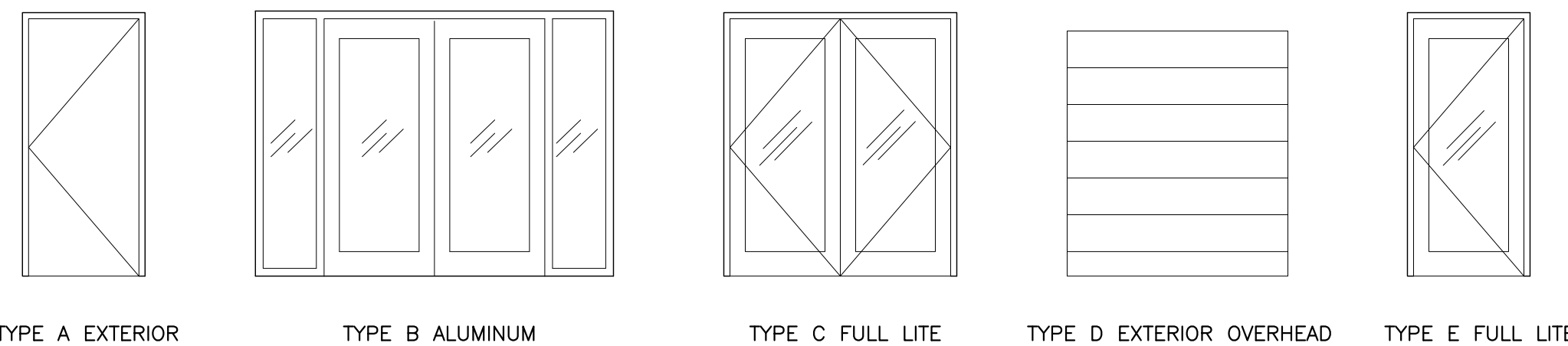
	Manufacturer	Pattern	Color	Size
CB	Ceramic Base	Daltile	Emerson Wood	Butter Pecan EP01 6" x 48" x 5/16"
CT1	Ceramic Tile	Daltile	Emerson Wood	Butter Pecan EP01 6" x 48" x 5/16"
CT2	Ceramic Tile	Daltile	Articulo	Column Grey AR09 12"x24"
CT3	Ceramic Tile	Daltile	Articulo	Column Grey AR09 6"x18" Wall Tile
CT4	Ceramic Tile	Daltile	Articulo	Column Grey AR09 6"x18" Wave Wall Tile
WC	Wall Covering	Acrovyn	Textile Collection - Muslin	Shea #14117 4'x8' sheets

Legend - Room Finishes	
GYP BD	Gypsum Board
STMP CON	Stamped Concrete
CON	Concrete
VINSOF	Vinyl soffit - Certaineed Triple 3 1/2" Panel
SLOPED	Sloped ceiling, see plans & sections

Door Schedule		Door						Frame		Notes
Door Tag	Room	Width	Height	Thickness	Material	Type	Finish	Material	Finish	
01	Multipurpose Room	6'-0"	7'-0"	1-3/4"	AL/GL	C	AL	AL	AL	2
02	Multipurpose Room	6'-0"	7'-0"	1-3/4"	AL/GL	B	AL	AL	AL	2
03	Multipurpose Room	6'-0"	7'-0"	1-3/4"	AL/GL	B	AL	AL	AL	2
04	Accessible Restroom	3'-0"	6'-8"	1'-3/4"	HM	A	PT	HM	PT	3
05	Accessible Restroom	3'-0"	6'-8"	1'-3/4"	HM	A	PT	HM	PT	3
06	Storage Room	6'-0"	6'-8"	1'-3/4"	HM	D	PT	HM	PT	4
07	Interior Multipurpose Room	3'-0"	6'-8"	1'-3/4"	AL/GL	E	AL	AL	AL	5

Notes

- All storefront door/windows finish shall match existing building. Hardware basis of design is Assa Abloy, finish to match existing
- Exit doors shall have Assa Abloy Sargent 3727 panic hardware, no astragal, Rockwood RM201-RM204 offset pulls, locking cylinders, and closers.
- Restroom doors shall have closer, pull handle, push plate on interior, lockable cylinder, lock keyed on exterior with thumb turn on interior with unlock only function
- Cornel Cookson - Commercial Rolling Insulated Door - THERMISER MAX Model ESD30 - manual  
Replace existing exterior steel door with new aluminum storefront door, with Assa Abloy Sargent 3828 panic hardware, Rockwood RM201-RM204 offset pulls, 5 locking cylinders, and closers.

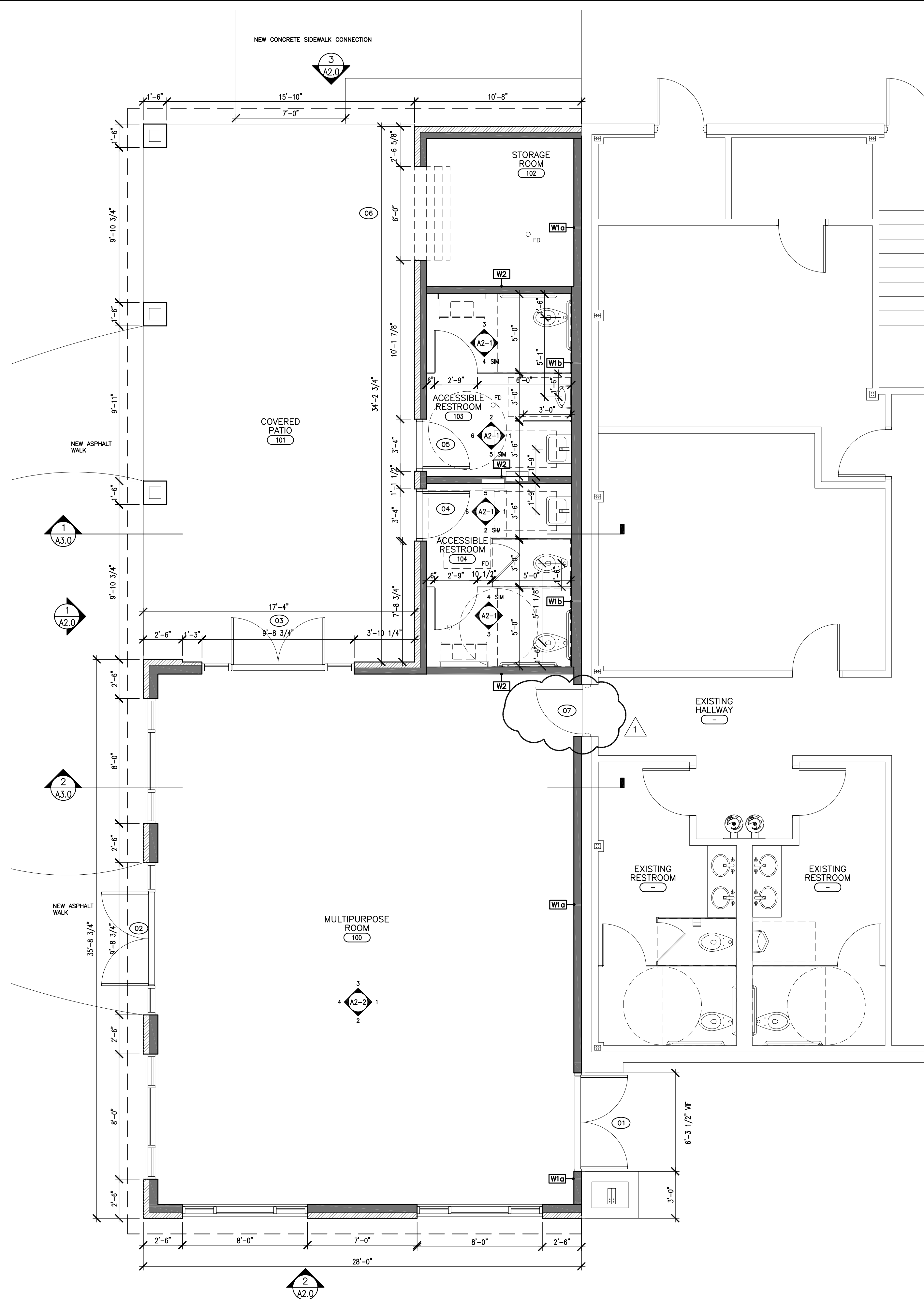


WALL NO.	STUD SIZE	STUD SPACING	MAX. HT. 5 PSF	FIRE RATING/TEST NO.	INSUL. THK. STC RATING	WALL THK.
A	4"	16" O.C.	-	1HR/UL DES U305	-	4 3/4"
B	6"	16" O.C.	-	1HR/UL DES U305	-	6 3/4"

**1** 1 Hour Gypsum Partition - Loadbearing  
SCALE: 3" = 1'-0"

WALL NO.	STUD SIZE	STUD SPACING	MAX. HT. 5 PSF	FIRE RATING/TEST NO.	INSUL. THK. STC RATING	WALL THK.
A	4"	16" O.C.	-	-	-	5 1/4"

**2** Nonrated Shear Wall Gypsum Partition - Non-Loadbearing  
SCALE: 3" = 1'-0"



**3** Proposed Floor Plan  
SCALE: 1/4" = 1'-0"

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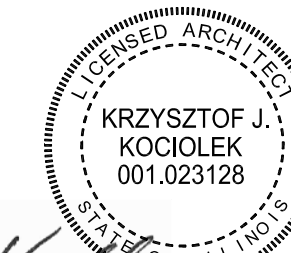
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SHEET TITLE  
**First Floor Plan**  
PROJECT NO.  
**21-06** **A-1.0**



# OUTLINE SPECIFICATIONS

## GENERAL CONDITIONS:

1. All subcontractors shall guarantee all labor and materials for a period of one (1) year from date of completion of the entire project as shown on these plans.
2. No information is to be scaled from drawings. Verify all dimensions in the field, in the event of any discrepancy contact the Architect before proceeding with work.
3. Any changes or substitutions to be submitted in writing and approved by the owner.
4. General contractor and all subcontractors shall protect all parts of their work from weather due to frost, rain, heat, wind, etc. and will repair any portion of the work or any damage to the satisfaction of the owner with no cost to the owner.
5. All bidding subcontractors shall visit the site and make themselves thoroughly familiar with existing conditions and the scope of work as defined in the drawings. He shall have full knowledge in regards to transportation, disposal, handling and storage of materials as it relates to the project and site.
6. The subcontractors shall familiarize themselves with the availability of existing sewer and water supply, electric power, gas lines, and other facilities in the area which will have bearing on the performance of his work. Failure to do so will not relieve the contractor from additional costs regarding the above items.
7. All work, materials, job conditions and safety measures shall conform with OSHA and local authority requirements.
8. All shop drawings shall be reviewed by the architect of record for compliance with design intent prior to installation.

## EARTHWORK:

1. Perform all earthwork as shown on Drawings and as specified herein. The work includes, but is not necessarily limited to the following:
  - Grading, excavation, backfill, and compaction
  - Protection and inspection
2. Contractor shall locate all underground utilities by contacting J.U.L.I.E. as required.
3. The proposed addition shall not result in any changes to existing grading. Slight changes next to building may be necessary to maintain positive drainage away from building.
4. Landscaping and plant material is owners responsibility and outside of general contractor scope.
5. General contractor shall provide a silt fence around any excavation areas to prevent erosion and for sediment control prior to disturbing any soil.
6. New asphalt walking path to be 3" thick min. asphalt, with 4" of aggregate compacted base. All hard surfaces to slope away from building.
7. New concrete sidewalk connection to be 4" thick unreinforced, air-entrained concrete, 4,500 psi mix, placed over 4" of aggregate compacted base. All hard surface to slope away from building.

## MASONRY:

1. Perform all unit masonry work as shown on the drawings, and as specified herein. The work includes but is not limited to the following.
  - a. Brick
  - b. Limestone / Cast Stone sill
  - c. Reinforcing of masonry
  - d. Flashings built into masonry
2. New brick for the addition to match existing.
3. When new masonry veneer meets existing, the interface shall be by means of a 1/2" expansion joint using MasterSeal NP 1 elastomeric polyurethane sealant with neoprene backer rod or equal.
4. Stone veneer to be full depth solid anchored stone. Selection by owner.

## DOORS AND WINDOWS:

1. Exterior storefront style entrance doors and side lights shall be aluminum Kawneer 350T series 2 or equal. Energy performance of storefront system shall be in accordance with values listed on Sheet T-1.1.
2. All other windows to be Pella 250 series vinyl sliding / fixed / sliding windows as shown on plans, with integrated insect screens at operable windows.
3. Safety glazing shall be provided in all locations required by code.
4. Storage overhead doors to be manually operated, insulated type, Cookson Thermiser Max or equal.
5. All other exterior doors to be Steelcraft insulated commercial door meeting energy requirements listed on Sheet T-1.1.
6. All new windows shall have acrylic solid surface stain resistant interior window sills. Color selection by owner.

## SIDING AND TRIM:

1. Exterior siding to be LP Smartside, factory painted with color selection by owner. LP Smartside to be installed per manufacturer instructions.

## ACCESSIBLE SIGNAGE:

1. General contractor shall provide permanent accessible room signage as follow: (2) two multi-purpose room sign, (2) two gender-neutral restroom signs

## ROOFING:

1. New roof to be metal standing seam Tite-Loc Plus or equal. Color selection by owner.
2. Provide counterflashing at all brick sidewall to roof intersections to match existing.
3. Roof does not have an attic. There is no venting required and no venting provided.
4. Provide matching color fascia, soffit, gutter, and downspouts, with downspout extensions.

## CARPENTRY:

1. Fire stop all openings through top plates, foors and soffits.
2. All LVL's to be: Fb 2,900 psi, E=2.0 x 10^6. Built up beams consisting of multiple members to be fastened together per manufacturer specifications.
3. Headers shall be sized as shown on plans.
4. All framing corners to be triple studs, u.n.o.
5. Provide horizontal fire blocking in studs exceeding 10ft height.
6. Perform all finish carpentry as shown on the drawings and as specified herein. The work includes but is not limited to the following:
  - a. Hanging doors and window installation
  - b. Installation of hardware on all wood doors
  - c. All blocking and furring required for all trades and rough frames for accessories.
  - d. Installation of wood joists and partitions
  - e. Rough framing
  - f. Finish framing and trim.
7. Studs shall be continuous from support at the sole plate to a support at the top plate to resist loads perpendicular to the wall. The support shall be a foundation or floor, ceiling or roof diaphragm. Exterior walls for double-height spaces or spaces with vaulted ceilings shall use balloon framing and shall not be stacked.
8. All exterior wood to be treated or naturally decay resistant.
9. All non-rated partitions framing into rated partitions shall be framed after the required gypsum board is installed. As an alternate, non-rated partitions may utilize double top plates or double end studs along with 5/8" type X gypsum board per section 714 of 2018 IBC.

## SOLAR SHADES:

1. All windows shall be equipped with motorized Solar Shades with 1-5% openness.
2. Solar shade fabric shall be flame retardant, fade and stain resistant, anti-static, anti-microbial and pass NFPA 701-1999 FR and ASTM-G21 and G22.
3. Motor shall be asynchronous with built in reversible capacitor, totally enclosed, temperature Class A, thermally protected maintenance free with line voltage power supply.
4. Motor shall be concealed inside the roller tube.
5. Motor size to be determined by shade manufacturer to insure proper operation based on window size and fabric selection.
6. Each shade shall be equipped with controls which allow for entire building face (ex. South, West) to be operated in unison, either a toggle or key-operated three position wall switch.

## ACOUSTIC PANELS:

1. Ceiling in multi-use room shall have acoustic sound absorbing panels. Basis of design is DMD panels by Acoustimac.
2. Panels shall be 2ft x 4ft x 2in, ceiling mountable with hidden fastener.
3. Panels shall have Class A fire rating.
4. Color selection by owner.
5. Maximum product only allowance for this line item shall not exceed \$2,500.

## TILE:

1. Tile manufacturer and design per plans. All tile to be installed in polymer modified premium thinset. Grout to be TEC Powergrout 550 or equal. All wall tiles and coping tiles open edges to be capped with Schluter-Schiene Straight Edge in Satin Aluminum finish.

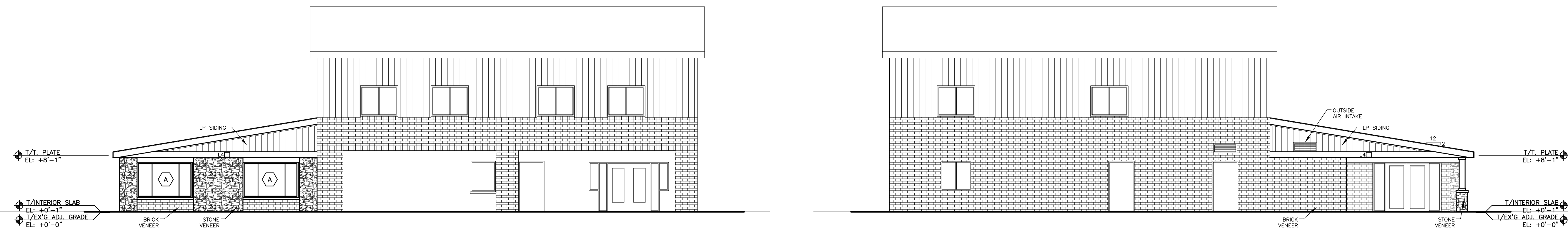
## ALTERNATES:

1. Windows: As an alternate provide quote for using Kawneer 8400 TL or equal thermal aluminum sliding windows instead of vinyl windows specified.
2. Roof: As an alternate provide quote for using 30 year composite architectural asphalt shingles instead of metal roof.
3. Floor tile in Multi-purpose room: As an alternate provide quote for using Armstrong Commercial Luxury Vinyl Tile instead of ceramic tile.

Window Tag	R.O. Width	R.O. Height	A.F.F.	Type	Configuration	Quantity	Notes
A	8'-0"	5'-0"	2'-0"	Casement	Triple	4	Install motorized solar shades at all windows



**1 Elevation**  
SCALE: 1/4" = 1'-0"



**2 Elevation**  
SCALE: 1/8" = 1'-0"

**3 Elevation**  
SCALE: 1/8" = 1'-0"

## SCOPE DOCUMENT

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## GENERAL NOTES

1. All dimensions are to face of finish, u.n.o.
2. Ceramic tile on walls in wet areas shall have 5/8" cement board instead of gyp. bd.
3. Ceramic tile on floors and walls shall be installed in premium polymer modified thinset mortar installed per manufacturer, u.n.o.
4. Grout color selection by owner. All grout to be Tec PowerGrout 550 or equal. Use matching caulk from same manufacturer for all joints subject to movement.
5. All drywall walls to receive 1 coat of primer and 2 coats of paint. All paint to be Benjamin More Regal Select or equal.
6. All fire rated walls which require 5/8" gyp. board which may be exposed to water shall use 5/8" dens glass exterior grade fire rated sheathing.
7. All interior gyp. board corners shall be NO-COAT® Structural Laminate (SLAM®) drywall corners by CertainTeed or equal heavy duty corner bead.

I hereby certify that these plans were made under my supervision and to the best of my professional knowledge and belief comply with the provisions of the applicable codes and ordinances of the governing body having jurisdiction.

I also certify that I am the registered energy professional (Reg). I also certify that to the best of my professional knowledge and belief that these plans fully comply with the requirements of the most current energy code in effect.

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## Design Development Set

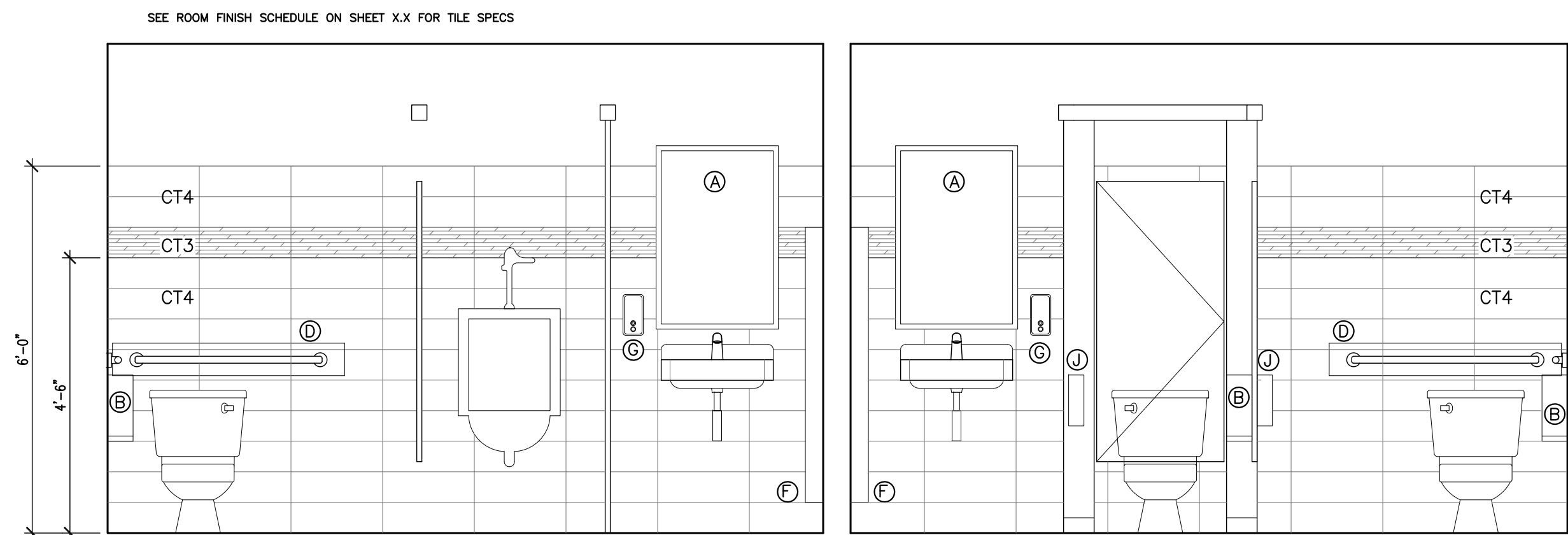
Client  
**Bremen Township**  
16361 Kedzie Parkway  
Markham, IL 60428

PROJECT  
**Senior Services Building  
Rear Addition**  
15350 Oak Park Ave  
Oak Forest, IL 60452

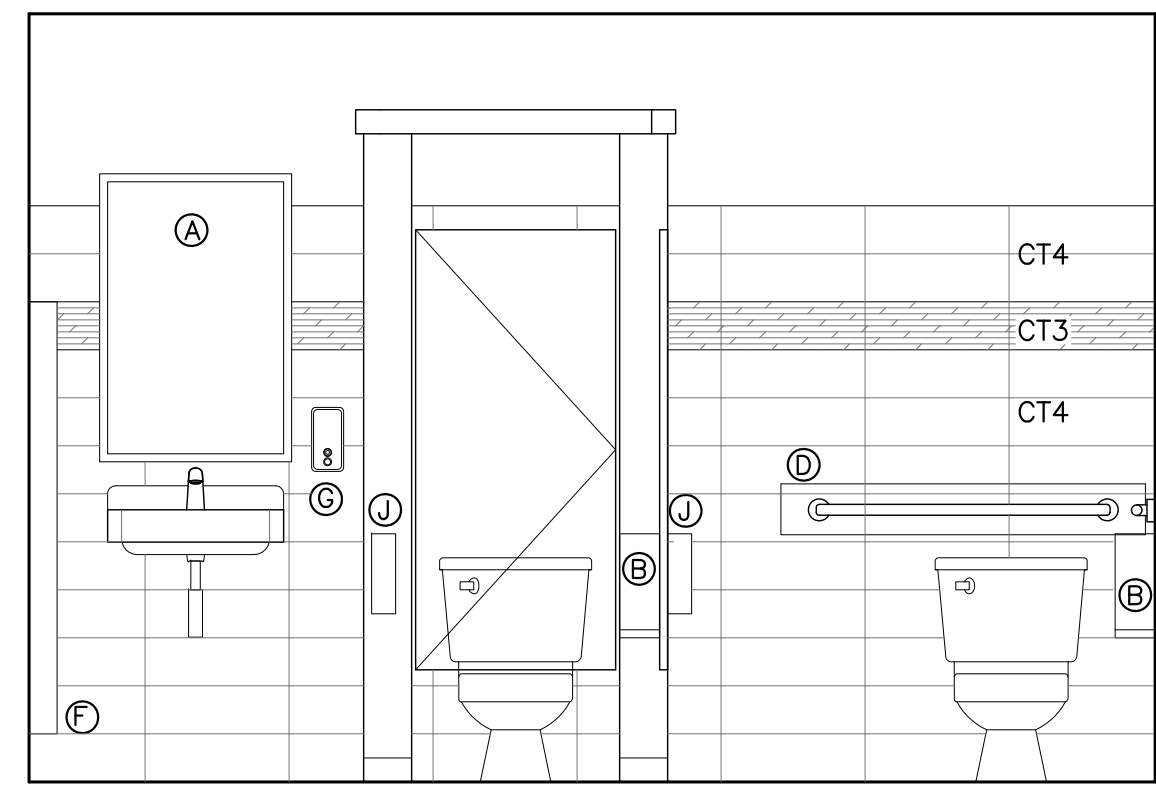
## SHEET TITLE Elevations and Specifications

PROJECT NO. <b>21-06</b>	<b>A-2.0</b>
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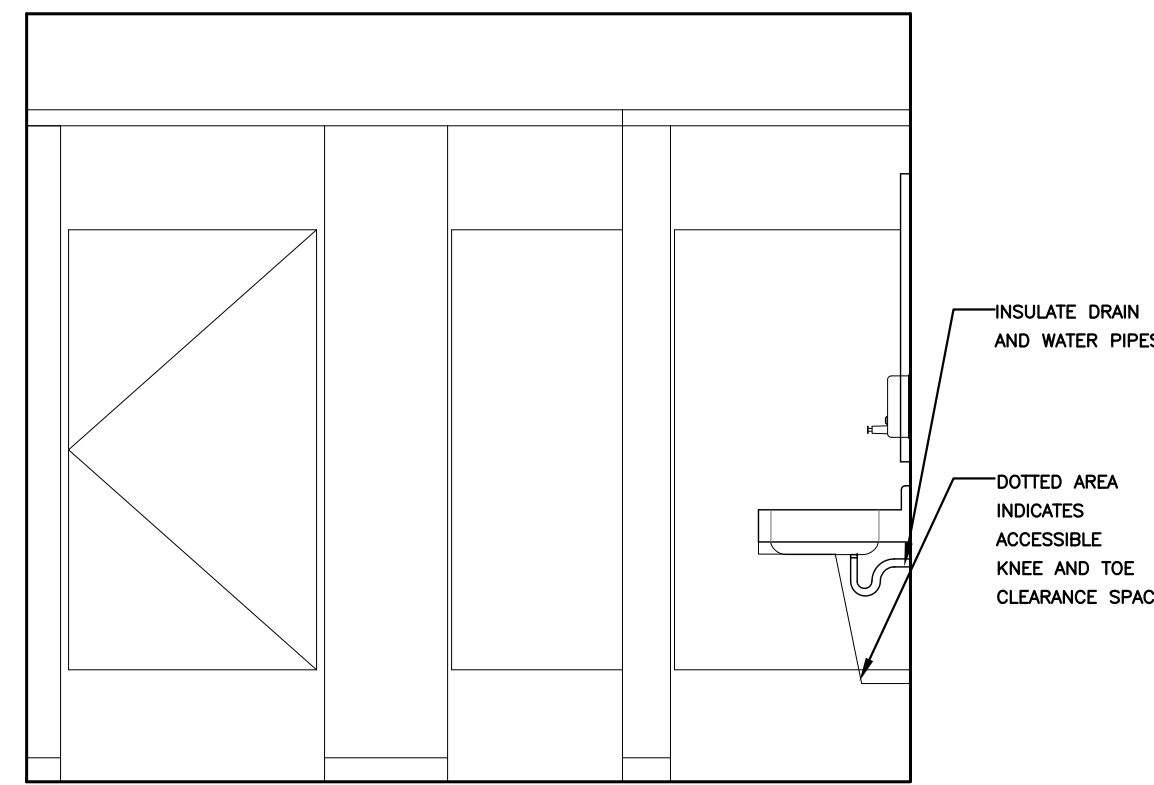




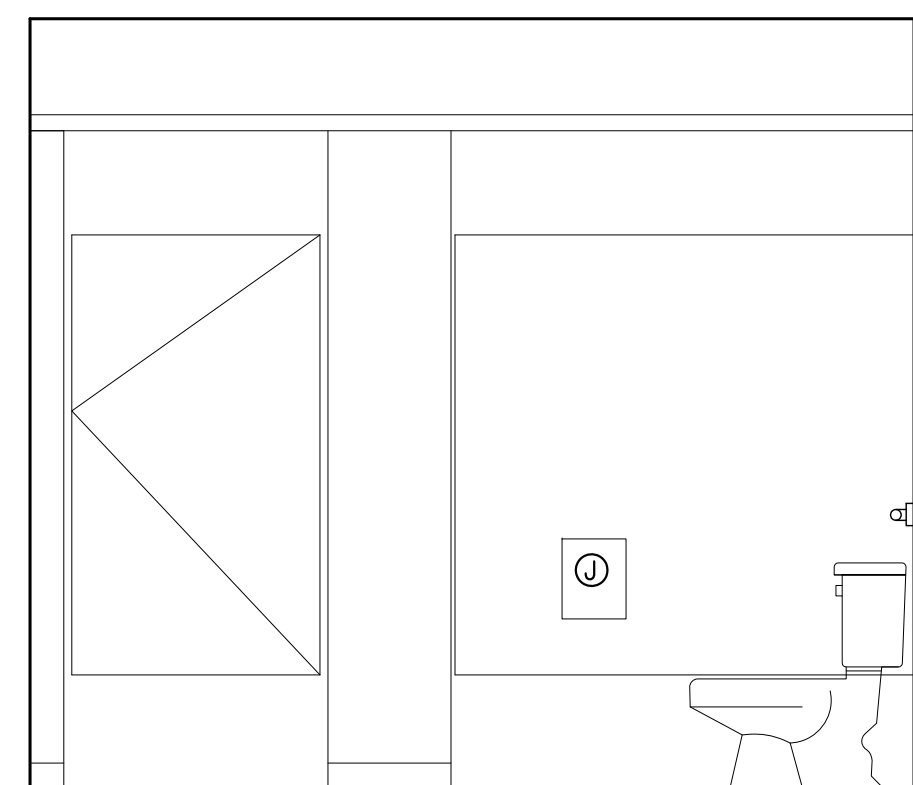
**1 Bathroom Interior Elevation**  
SCALE: 1/2" = 1'-0"



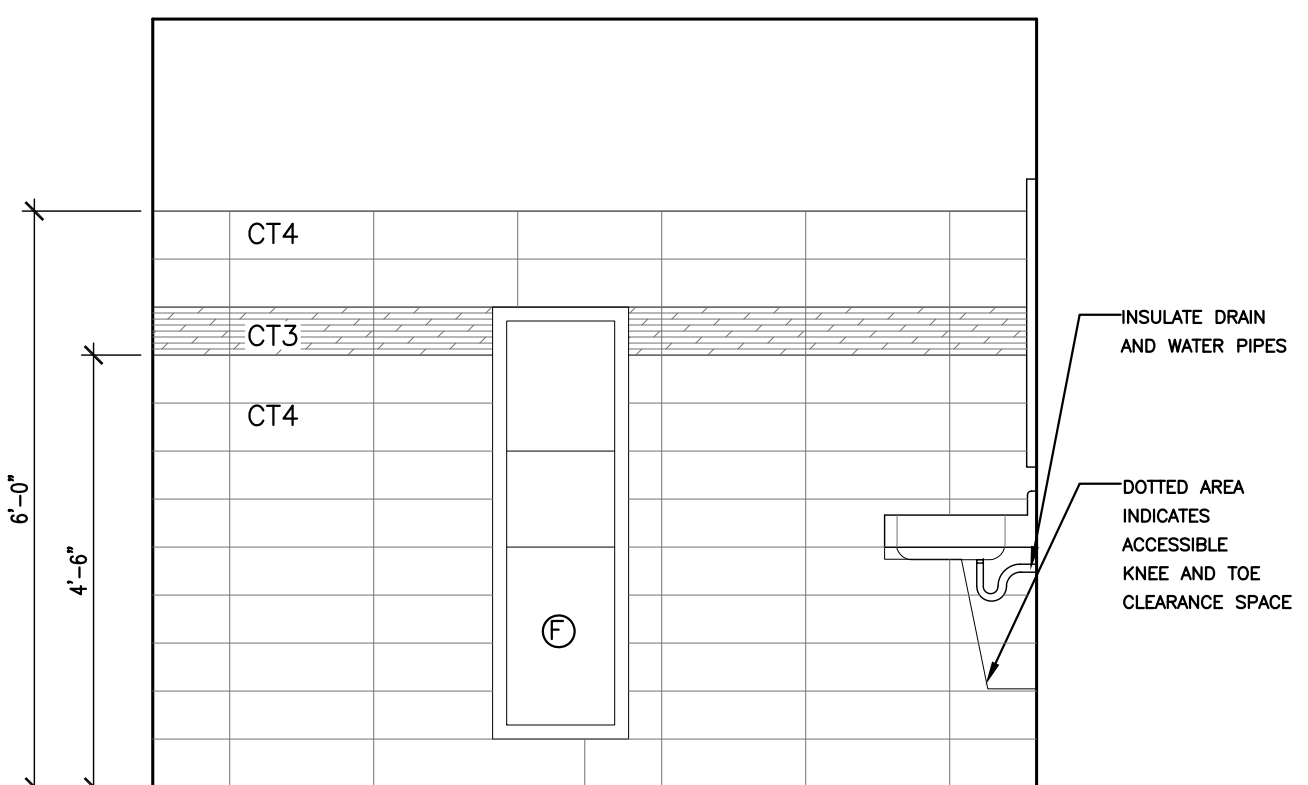
**2 Bathroom Interior Elevation**  
SCALE: 1/2" = 1'-0"



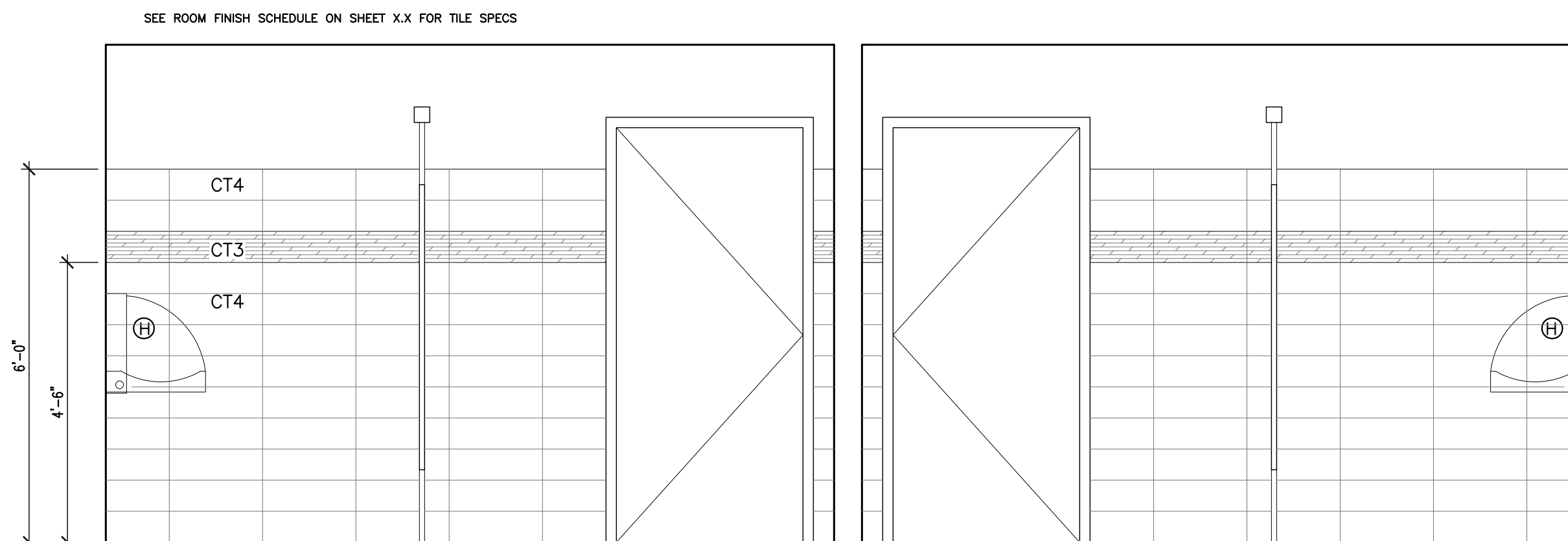
**3 Bathroom Interior Elevation**  
SCALE: 1/2" = 1'-0"



**4 Bathroom Interior Elevation**  
SCALE: 1/2" = 1'-0"



**5 Bathroom Interior Elevation**  
SCALE: 1/2" = 1'-0"



**6 Bathroom Interior Elevation**  
SCALE: 1/2" = 1'-0"

**Toilet Equipment Schedule**

Item	Manufacturer	Model No.	Description	Quantity	Notes
Toilet	American Standard	209AA137 w/4385A187	Yorkville VorMax Right Height Elongated Toilet with Locking tank cover	3	
Toilet Seat	American Standard	5901100SS.020	Commercial Heavy Duty Open Front Elongated Toilet Seat with EverClean Surface and Self Sustaining Hinges	3	
Urinal	American Standard	6581.001EC	Maybrook Universal Urinal with EverClean	1	
Urinal Flush Valve	American Standard	6045.051.002	0.5 gpf Flush Valve: Manual-Operated	1	
Sink	Elkay	ELVW02219SACC	Stainless Steel 22"x19"x5 1/2" Wall Hung Lavatory Sink Kit with sensor faucet	2	
Toilet Partitions	Hadrian	Solid Plastic	Solid Plastic, Headrail braced, Color Selection by owner from standard selection	2 sets	

Notes  
Refer to Sheet A0.1 for mounting Heights

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- All interior gyp. board corners shall be NO-COAT® Structural Laminate (SLAM®) drywall corners by Certainteed or equal heavy duty corner bead.

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Markham, IL 60428

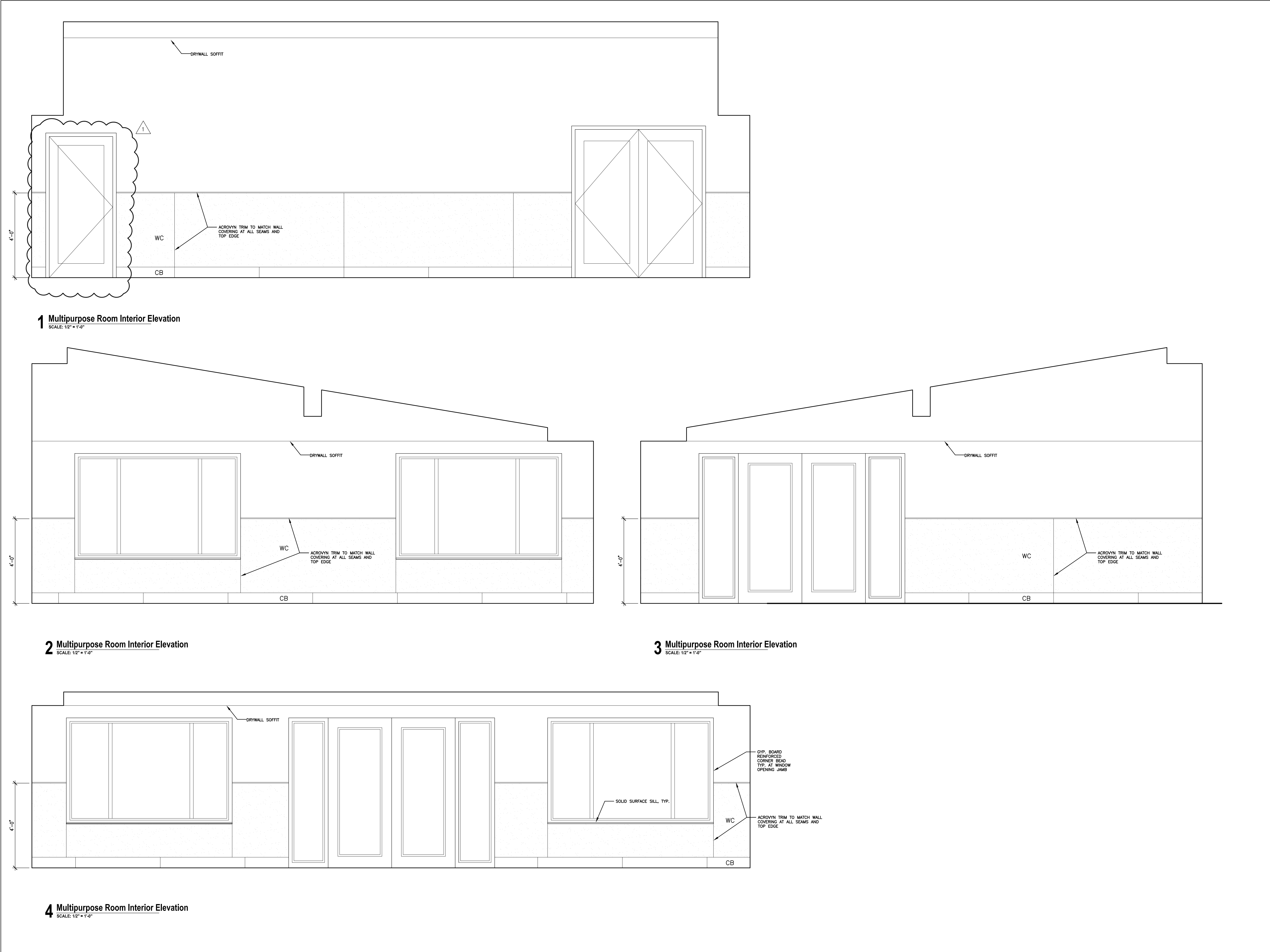


PROJECT  
**Senior Services Building  
Rear Addition**  
15350 Oak Park Ave  
Oak Forest, IL 60452

**Interior Elevations**

PROJECT NO.  
**21-06**      **A-2.1**





**1 Multipurpose Room Interior Elevation**  
SCALE: 1/2" = 1'-0"

**2 Multipurpose Room Interior Elevation**  
SCALE: 1/2" = 1'-0"

**3 Multipurpose Room Interior Elevation**  
SCALE: 1/2" = 1'-0"

**4 Multipurpose Room Interior Elevation**  
SCALE: 1/2" = 1'-0"

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16361 Kedzie Parkway  
Markham, IL 60428

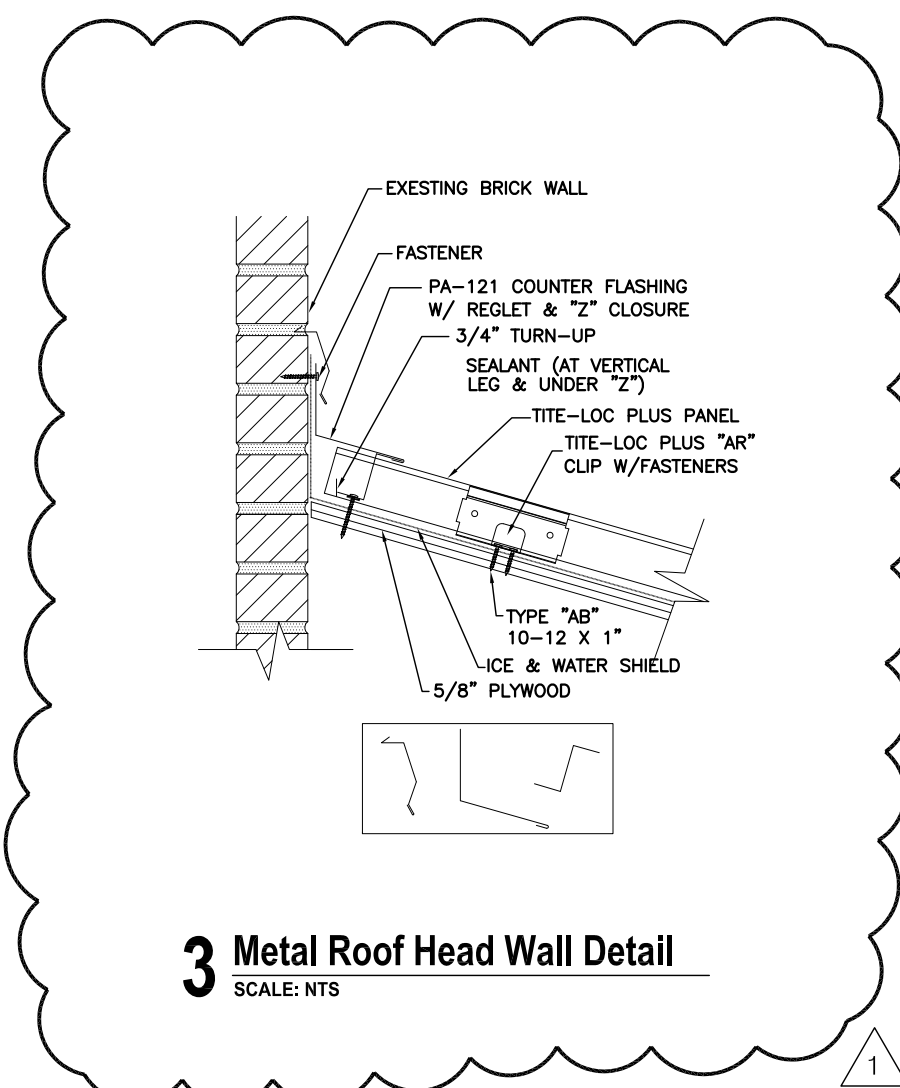


PROJECT  
**Senior Services Building  
Rear Addition**  
15350 Oak Park Ave  
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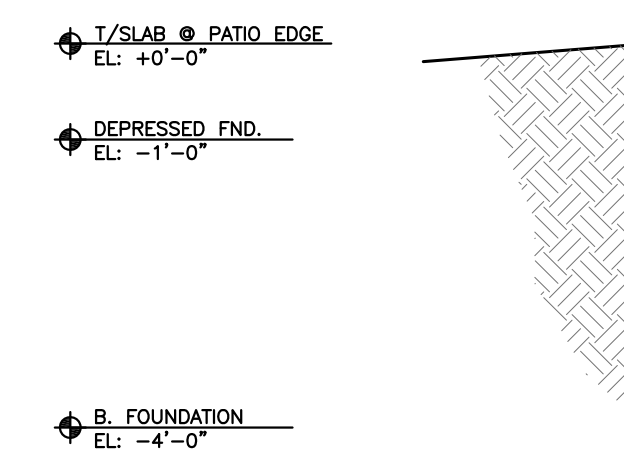
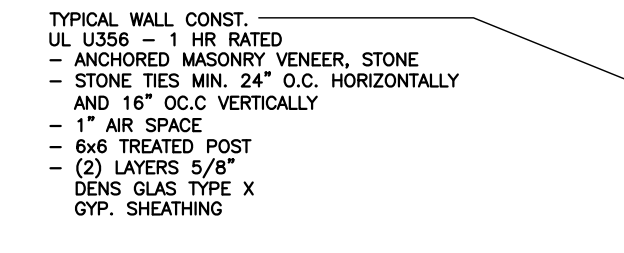
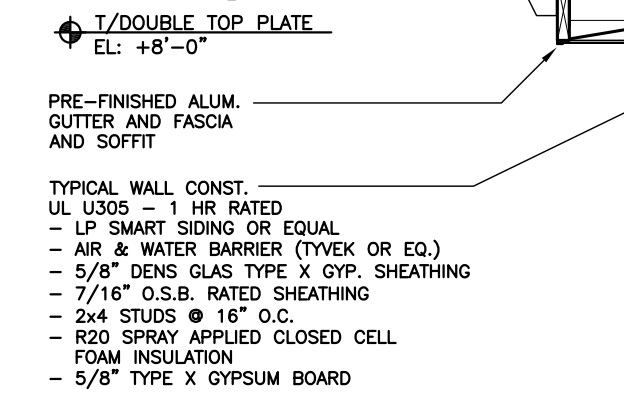
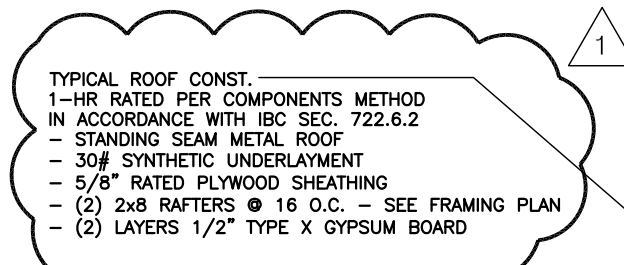
**Interior Elevations**

PROJECT NO. <b>21-06</b>	<b>A-2.2</b>
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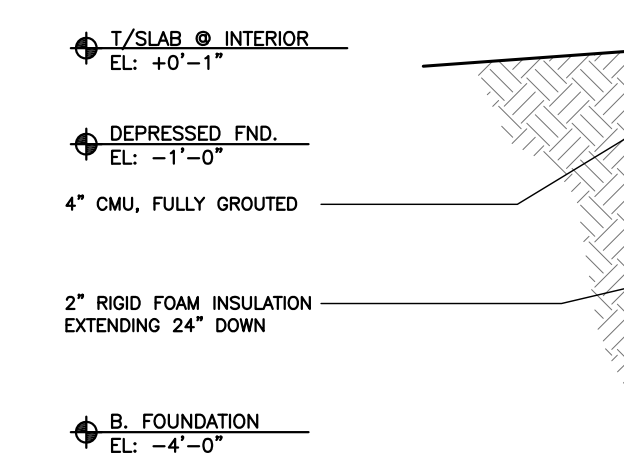
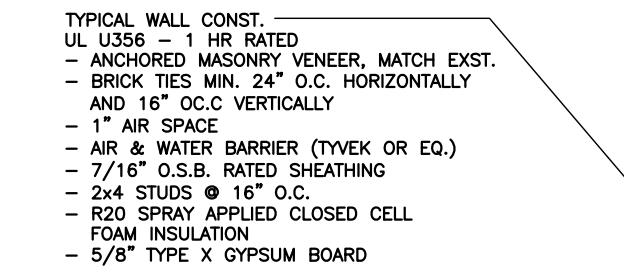
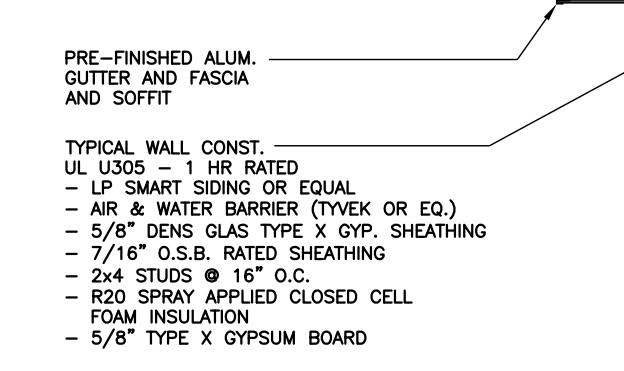
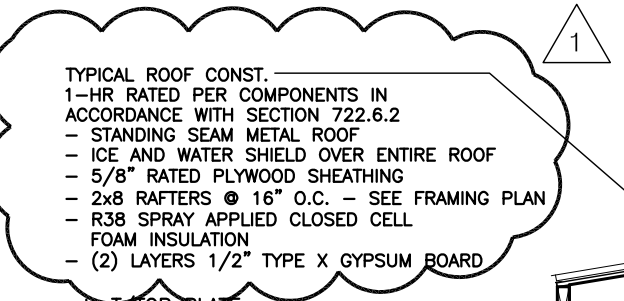




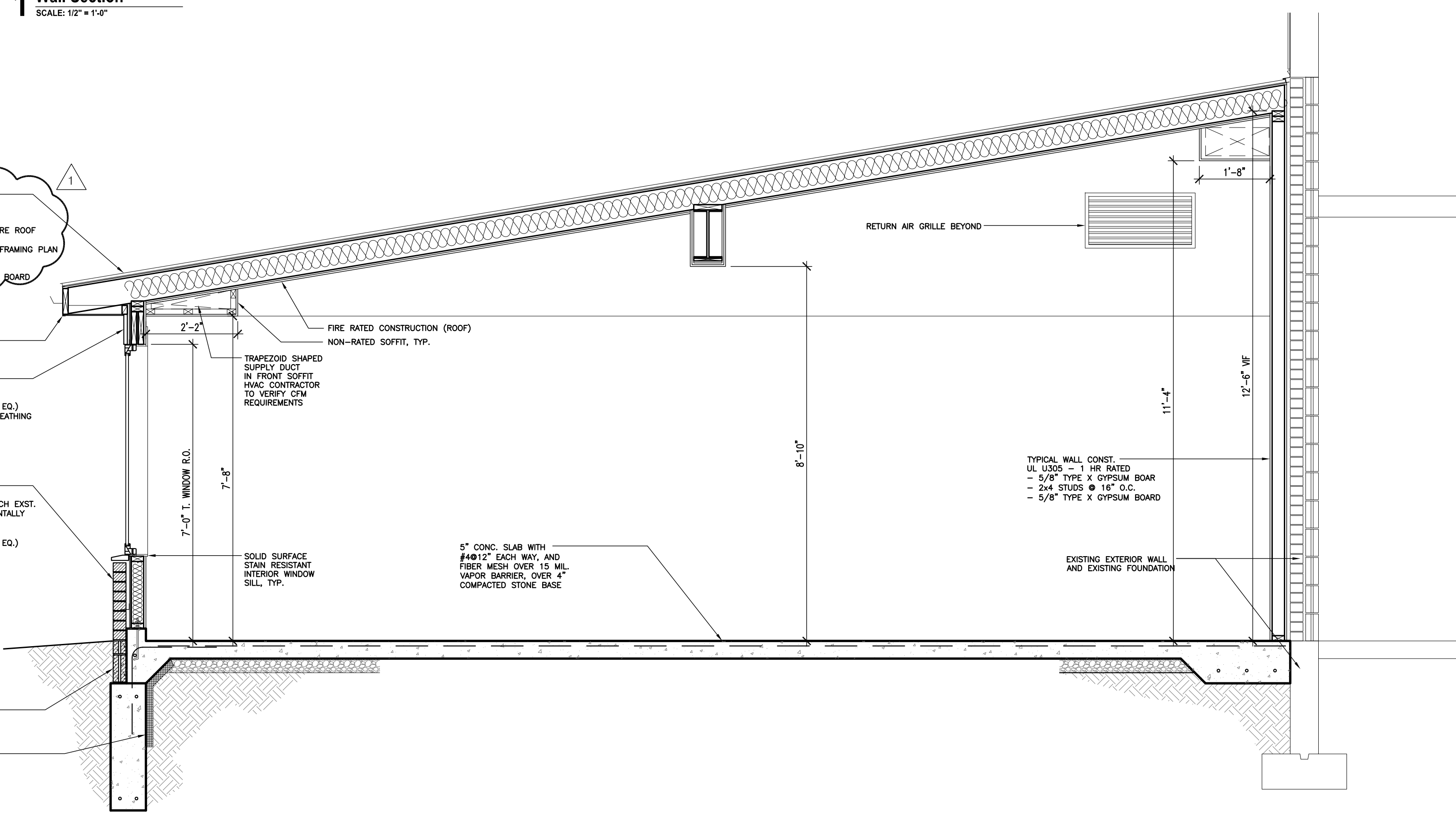
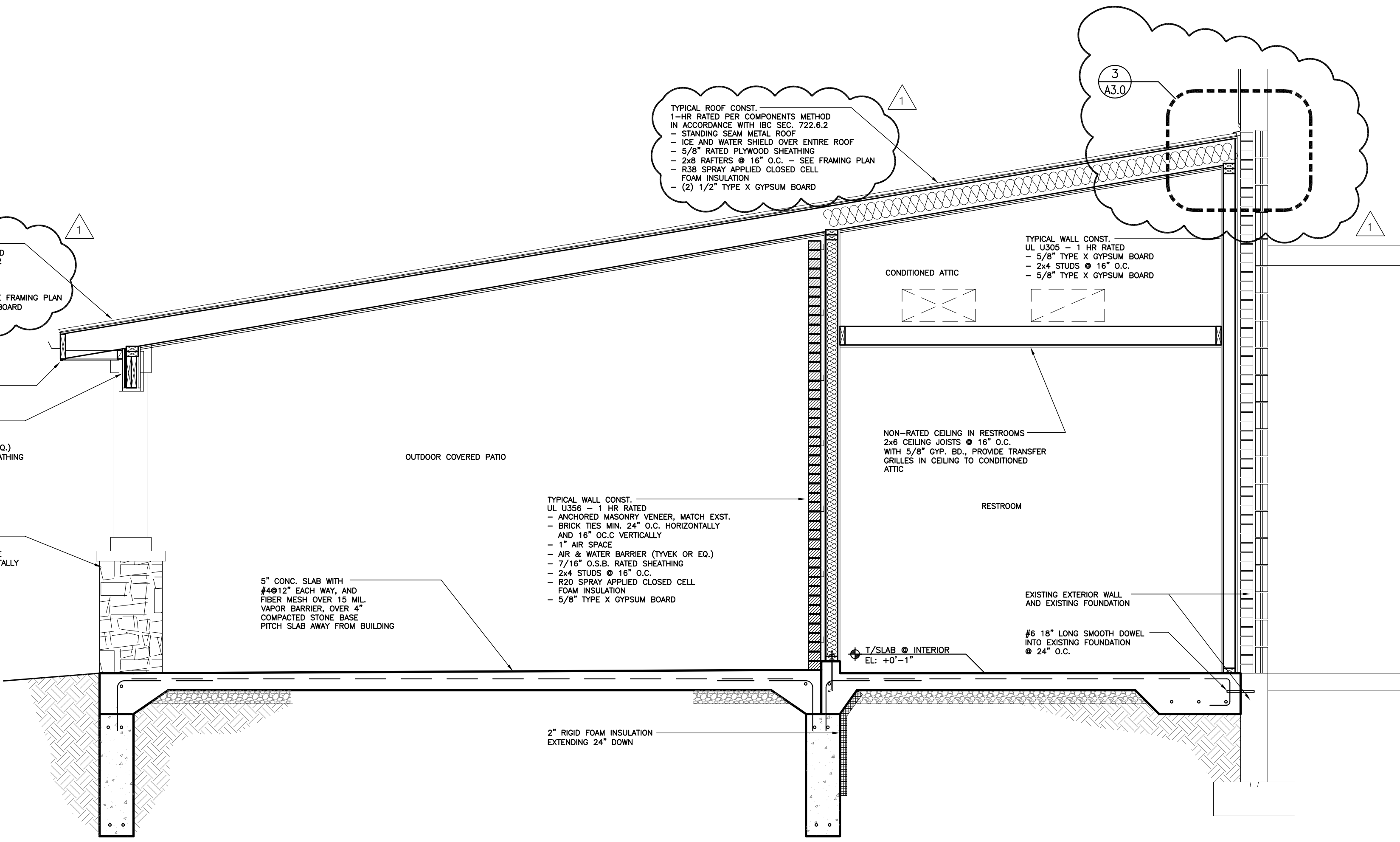
**3 Metal Roof Head Wall Detail**  
SCALE: NTS



**1 Wall Section**  
SCALE: 1/2" = 1'-0"



**2 Wall Section**  
SCALE: 1/2" = 1'-0"



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**Design Development Set**

Client  
**Bremen Township**  
16361 Kedzie Parkway  
Markham, IL 60428

PROJECT  
**Senior Services Building Rear Addition**  
15350 Oak Park Ave  
Oak Forest, IL 60452

**Wall Sections**

PROJECT NO.	21-06	A-3.0
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# GENERAL STRUCTURAL NOTES

## DESIGN CRITERIA:

GROUND FLOOR LOADS:	ATTICS (NO STORAGE):	10 PSF
DEAD	ATTICS (LIMITED STORAGE):	20 PSF
LIVE	STAIRS:	40 PSF
	INTERIOR PARTITIONS (HORIZONTALLY):	5 PSF
ROOF LOADS:		
DEAD		10 PSF
LIVE		30 PSF (GROUND SNOW LOAD)
WIND DESIGN: ASCE 7-16 Directional		
WIND LOAD: 115 MPH		
MIN. WIND LOADS - WALLS: 16 PSF		
- ROOFS: 8 PSF		
SEISMIC DESIGN: ASCE 7-16 12.8 Equivalent Lateral Force Procedure		
Risk Category Category II - All others		
Structure Type Regular		
Building System Bearing Wall		
Design Category A		
Site Class D		

## GENERAL NOTES:

- ALL ELEVATIONS REFER TO TOP OF THE FINISHED FLOOR SLAB AT EXISTING ELEVATION = +XXX'-X". REFER TO ARCHITECTURAL DRAWING FOR DATUM ELEVATION
- ALL WORK SHALL CONFORM TO THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC 2018).
- SHOP DRAWINGS PREPARED BY THE SUBCONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE ARCHITECT FOR CONFORMANCE WITH THE DESIGN CONCEPT ONLY.
- THE CONTRACTOR SHALL INSPECT THE SITE AND SHALL VERIFY ALL DATA PERTAINING TO THE EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS AND SHOULD BE STUDIED BEFORE PROCEEDING WITH THE WORK.
- NO WORK SHALL BE PERFORMED WITHOUT APPROVED SHOP DRAWINGS.
- FOR DETAILS AND DIMENSIONS NOT SHOWN, REFER TO THE ARCHITECTURAL DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- COORDINATION OF SIZES AND LOCATIONS OF OPENINGS FOR PIPES, DUCTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NO PIPES OR SLEEVES FOR MECHANICAL OR OTHER TRADES SHALL PASS THROUGH STRUCTURAL MEMBERS WITHOUT THE ARCHITECT'S APPROVAL.
- THE CONTRACTOR SHALL GIVE DUE CONSIDERATION TO ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE. TEMPORARY BRACING SHALL BE PROVIDED, WHERE NECESSARY, TO INSURE THE STABILITY AND SAFETY OF THE STRUCTURE DURING ERECTION AND CONSTRUCTION. DESIGN AND CONSTRUCTION OF ALL TEMPORARY BRACING, SCAFFOLDING, SHORING, ETC. SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL RESPECTIVE TRADE CONTRACTOR.

## FOUNDATION NOTES:

- FOOTINGS, FOUNDATION WALLS, AND CONCRETE SLABS ON GRADE HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATION OF THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR SHALL CONTRACT SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER AND PROVIDE BASE OF EXCAVATION TESTING AT TIME OF EXCAVATION. CONTRACTOR SHALL SUBMIT RESULTS TO OWNER AND ARCHITECT FOR REVIEW. OWNER SHALL REIMBURSE CONTRACTOR FOR GEOTECHNICAL TESTING.
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WHEREVER POSSIBLE. DESIGN SOIL BEARING PRESSURE IS 3,000 PSF FOR FROST LEVEL FOOTINGS. ANY SUBSOIL REMEDIATION MUST BE SPECIFIED BY GEOTECHNICAL ENGINEER AND APPROVED BY OWNER AND/OR ARCHITECT.
- ALL FOUNDATION AND SLAB EXCAVATIONS SHALL BE INSPECTED AND VERIFIED BY A GEOTECHNICAL ENGINEER. ALL REPORTS ARE TO BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR RECORD.
- FOOTINGS SHALL BEAR AT THE ELEVATIONS SHOWN ON PLAN. IF OVER-EXCAVATION OCCURS, OR THE EXISTING SITE IS BELOW THE INDICATED BEARING ELEVATIONS, PLACE AND COMPACT ALL ENGINEERED FILL AS DIRECTED BY THE ON-SITE SOILS ENGINEER.
- A MINIMUM FROST COVER OF 4'-0" SHALL BE MAINTAINED FOR ALL EXTERIOR FOOTINGS.
- FILL AND/OR BACKFILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM PERCENTAGES OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557:
 

FILL UNDER FOOTINGS	95%
FILL UNDER BUILDING SLAB-ON-GRADE	95%

\*\* AVOID COMPACTING COHESIVE SOILS AT MOISTURE CONTENTS ON THE WET SIDE OF OPTIMUM.
- NO FOOTINGS SHALL BE PLACED ONTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.
- A 15 MIL VAPOR BARRIER SHALL BE PROVIDED UNDER ALL SLABS-ON-GRADE PER ARCHITECTURAL REQUIREMENTS.
- ALL FILL AND BACKFILL LOCATED UNDER SLAB ON GRADE OR CONCRETE W/ AND SIMILAR AREAS SHALL BE OF APPROVED MATERIALS PLACED IN SUCCESSIVE 8" HORIZONTAL LIFTS AND COMPACTED TO 95% DENSITY OBTAINED AT OPTIMUM MOISTURE CONTENT IN STRICT ACCORDANCE WITH ASTM D-1557-58.

## CONCRETE NOTES:

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE" (ACI 301)	2. NO WORK SHALL BEGIN WITHOUT CONTRACTOR, A/E REVIEW OF SHOP DRAWINGS AND MIX DESIGN.	3. MATERIAL PROPERTIES - ALL NORMAL WEIGHT CONCRETE (145 pcf) SHALL HAVE THE FOLLOWING MATERIAL PROPERTIES AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH AS FOLLOWS:																												
		<table border="0"> <tr> <td>Pc PS AT 28 DAYS</td> <td>MAX. W/C RATIO</td> <td>MAX. SLUMP INCHES</td> <td>TOTAL AIR CONTENT</td> </tr> <tr> <td>FOOTINGS</td> <td>3,000</td> <td>0.50</td> <td>4-6</td> </tr> <tr> <td>FOUNDATION WALLS</td> <td>4,000</td> <td>0.50</td> <td>4-6</td> </tr> <tr> <td>COLUMN PIERS</td> <td>4,000</td> <td>0.45</td> <td>3*</td> </tr> <tr> <td>INTERIOR. S.O.G.</td> <td>4,000</td> <td>0.45</td> <td>4</td> </tr> <tr> <td>EXT. S.O.G.</td> <td>4,500</td> <td>0.45</td> <td>4</td> </tr> <tr> <td>N.S. GROUT</td> <td>8,000</td> <td></td> <td>8</td> </tr> </table>	Pc PS AT 28 DAYS	MAX. W/C RATIO	MAX. SLUMP INCHES	TOTAL AIR CONTENT	FOOTINGS	3,000	0.50	4-6	FOUNDATION WALLS	4,000	0.50	4-6	COLUMN PIERS	4,000	0.45	3*	INTERIOR. S.O.G.	4,000	0.45	4	EXT. S.O.G.	4,500	0.45	4	N.S. GROUT	8,000		8
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N.S. GROUT	8,000		8																											

\*PRIOR TO ADDING SUPERPLASTICIZER

CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE ALLOWED IN CONCRETE.

ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED 6% TO 8% MIN.

4. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS PRIOR TO REMOVING FORMS. IF FORMS FOR VERTICAL SURFACES ARE REMOVED PRIOR TO THE END OF THE CURING PERIOD, SPRAY SURFACES WITH LIQUID MEMBRANE CURING COMPOUND (SEE SPECIFICATIONS).

5. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. PROVIDE CORNER BARS OF SAME SIZE AND SPACING AS HORIZONTAL WALL REINFORCEMENT. DEFORMED BAR ANCHORS ASTM A496, Fy = 70 KSI. HEADED ANCHOR STUDS ASTM A108.

6. PROVIDE HORIZONTAL CONSTRUCTION JOINTS IN EXPOSED CONCRETE

7. UNLESS NOTED OTHERWISE, PROVIDE LAP SPLICES OF AT LEAST 48 BAR DIAMETERS FOR ALL REINFORCEMENT. ADDITIONAL LAP SPLICES REQUIRED FOR CONSTRUCTION SHALL BE 48 BAR DIAM.

8. UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM CLEAR CONCRETE COVER FOR REINFORCING BARS AS SHOWN

CONCRETE EXPOSED TO EARTH OR WEATHER:

SURFACES NOT FORMED #6 AND BIGGER	2"
SURFACES NOT FORMED	1.5"
BOTTOM OF FOOTINGS	3"
SURFACES FORMED	1.5"
ALL OTHER SURFACES	1.5"

CONCRETE NOT EXPOSED TO EARTH OR WEATHER:

SLABS (BOTTOM)	0.75"
SLABS (TOP)	1"
WALLS (INTERIOR SURFACE)	1"
ALL OTHER SURFACES	1"

9. CONC. REINF. SHOP DRAWINGS INCLUDE PLANS SHOWING ALL ACCESSORY BARS, ETC., FOR SUPPORT OF TOP AND BOTTOM REINFORCING. SPACE CHAIRS AT 4'-0" MAXIMUM. SUPPORT BARS MUST BE MINIMUM #5.

10. CONCRETE REINF. SHALL BE PLACED ACCORDING TO THE CRSI MANUAL "RECOMMENDED FOR PLACING REINF. BARS" PROVIDE ADEQUATE BOLSTERS, CHAIRS SUPPORT BARS, ETC. TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS. PROVIDE CONTINUOUS #4 SPACER BARS IN WALLS AND SLABS TO SUPPORT DOWELS.

11. ALL FIELD BENDING OF REINFORCING SHALL BE DONE COLD. HEATING OF BARS IN THE FIELD IS NOT PERMITTED.

12. NO ALUMINUM OF ANY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK UNLESS COATED TO PREVENT ALUMINUM/CONCRETE REACTION. UNDERGROUND ELECTRICAL CONDUIT TO BE PVC WITH RMC ELBOWS. ALL CONDUIT AND PIPING UNDER CONCRETE SHALL BE BELOW BOTTOM OF SLAB

13. ALL SLAB ON GRADE REINFORCEMENT MUST BE SUPPORTED ON BOLSTER CHAIRS AND PLACED IN TOP 1/3 OF SLAB.

14. ALL SLAB ON GRADE SHALL HAVE "ULTRA FIBER 500" OR EQUAL FIBER MESH TO CONTROL SHRINKAGE CRACKING. CONTRACTOR TO VERIFY THAT FIBER MESH ORDERED FROM READY-MIX SUPPLIES HAS EQUAL FINISHING AND COLOR STAIN PERFORMANCE AS "ULTRA FIBER 500"

15. ALL SEPARATE CONCRETE POURS SHALL RETAIN THREE (3) 6" x 12" CYLINDERS TO BE STORED ON SITE AT SIMILAR CONDITIONS AS THE INSTALLATION AND TESTED FOR COMPRESSIVE STRENGTH AT TIME INTERVALS PER ACI 318. CONTRACTOR SHALL CONTRACT SERVICES OF A QUALIFIED MATERIALS TESTING LABORATORY. CONTRACTOR SHALL SUBMIT RESULTS TO OWNER AND ARCHITECT FOR REVIEW. OWNER SHALL REIMBURSE CONTRACTOR FOR CONCRETE COMPRESSIVE STRENGTH TESTING.

## STRUCTURAL STEEL

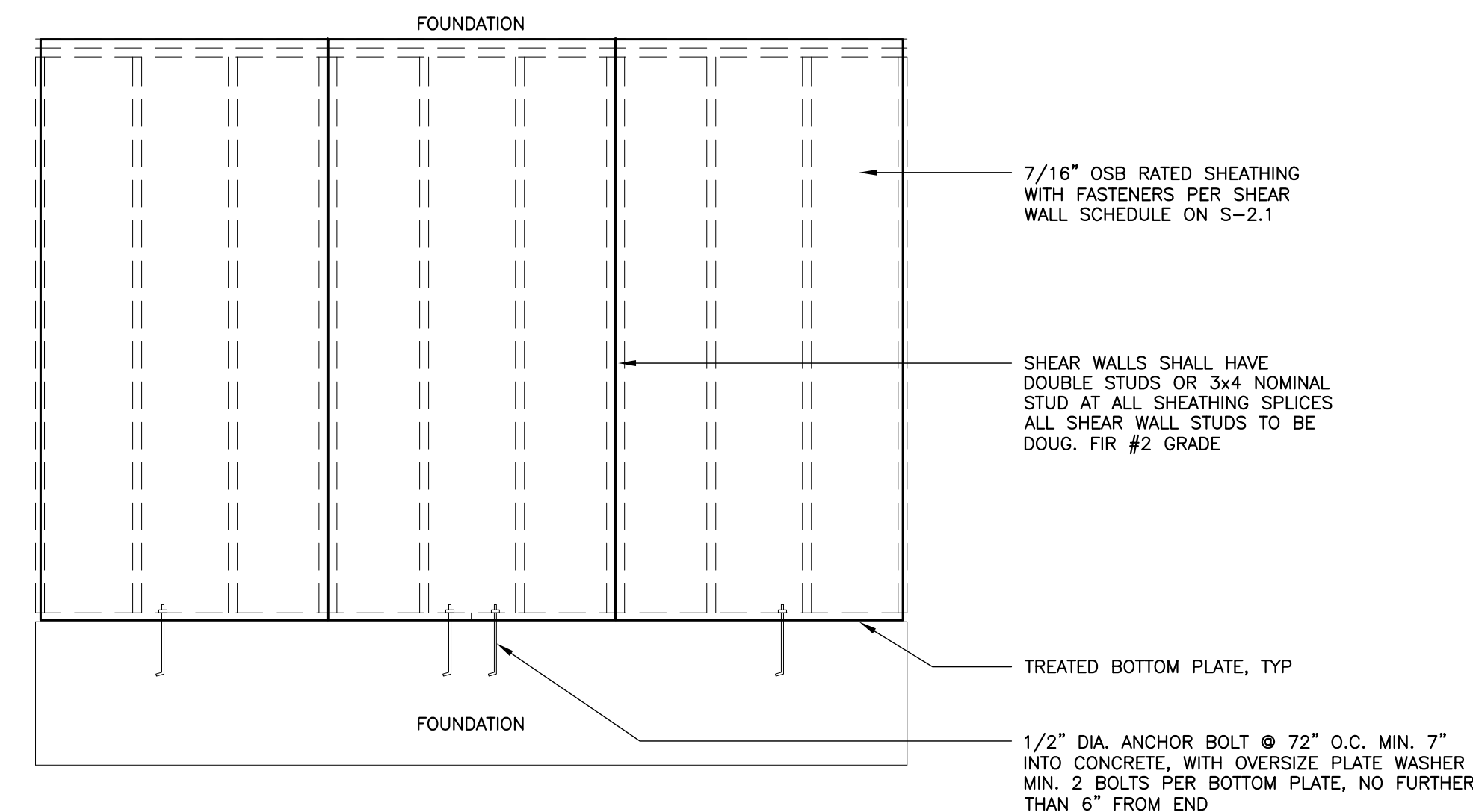
- All detailing, fabrication and erection of steel shall conform to A.I.S.C. Specifications. Materials shall conform to following ASTM specifications:
  - Structural shapes and plates - A-36 (Fy=36ksi)
  - Structural W-shapes - A-992 (Fy=50ksi)
  - Structural tubing / HSS shapes - A-500 Grade B (Fy=46ksi)
  - Anchor bolts - A-307
  - Threaded bolts - A-325
- Structural steel members shall receive one shop coat of zinc primer. All members shall be touched up after erection.

## STRUCTURAL FRAMING LUMBER

ALL STRUCTURAL LUMBER TO BE CLEARLY MARKED WITH GRADE. VALUES SHALL BE AS PUBLISHED IN THE AMERICAN WOOD COUNCIL "NATIONAL DESIGN SPECIFICATIONS, DESIGN VALUES FOR WOOD CONSTRUCTION" 2015 EDITION.

MINIMUM IN-GRADE BASE VALUES FOR NEW FRAMING SHALL BE AS FOLLOWS:

HEM-FIR #2	Fb = 850	E = 1,300,000	ROOF RAFTERS/CEILING JOISTS
SPF #1/2 OR BETTER	Fb = 875	E = 1,400,000	SOLID SAWN HEADERS
DOUG-FIR-LARCH #2	Fb = 900	E = 1,350,000	LOAD BEARING / SHEAR WALLS
SOUTH. PINE #2 TIMBER	Fb = 850	E = 1,200,000	6x6 POSTS
LVL	Fb = 2900	E = 2,000,000	SEE PLANS



1 Typical Shear Wall Framing and Sheathing Detail  
NTS

## SCOPE DOCUMENT

This document with the accompanying drawings and specifications, describes the general scope of the project and design concept in terms of the architectural, structural, mechanical and electrical systems. These documents do not necessarily indicate or describe all of the work required for the full performance and completion of the requirements of the contract. On the basis of the scope indicated or described, the contractor shall determine and include in his proposals all items necessary to provide the proper execution and completion of the work.

## GENERAL NOTES

- All dimensions are to face of finish, u.n.o.
- Ceramic tile on walls in wet areas shall have 5/8" cement board instead of gyp. bd.
- Ceramic tile on floors and walls shall be installed in premium polymer modified thinset mortar installed per manufacturer, u.n.o.
- Grout color selection by owner. All grout to be Tec PowerGrout 550 or equal. Use matching caulk from same manufacturer for all joints subject to movement.
- All drywall walls to receive 1 coat of primer and 2 coats of paint. All paint to be Benjamin More Regal Select or equal.
- All fire rated walls which require 5/8" gyp. board which may be exposed to water shall use 5/8" dens glass exterior grade fire rated sheathing.
- All interior gyp. board corners shall be NO-COAT® Structural Laminate (SLAM®) drywall corners by CertainTeed or equal heavy duty corner bead.

I hereby certify that these plans were made under my supervision and to the best of my professional knowledge and belief comply with the provisions of the applicable codes and ordinances of the governing body having jurisdiction.

I also certify that I am the registered energy professional (Peg). I also certify that to the best of my professional knowledge and belief that these plans fully comply with the requirements of the most current energy code in effect.

Plans not valid for permit or construction unless stamped and signed by the architect of record.

Date Signed: 2/10/2023  
License Expires: 11/30/2024



*Krzysztof J. Kociolek*

Professional Design Firm # 184.008296

**KRYZ KOCIOLEK  
EMILY KOCIOLEK**

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4	Addendum #1	2/10/23
3	Issued for Bid	12/27/22
2	Issued for Permit	07/13/22
1	Design Development Set	06/17/22
NUMBER	ISSUED FOR	DATE

## Design Development Set

Client  
**Bremen Township**  
16361 Kedzie Parkway  
Markham, IL 60428

PROJECT  
**Senior Services Building  
Rear Addition**

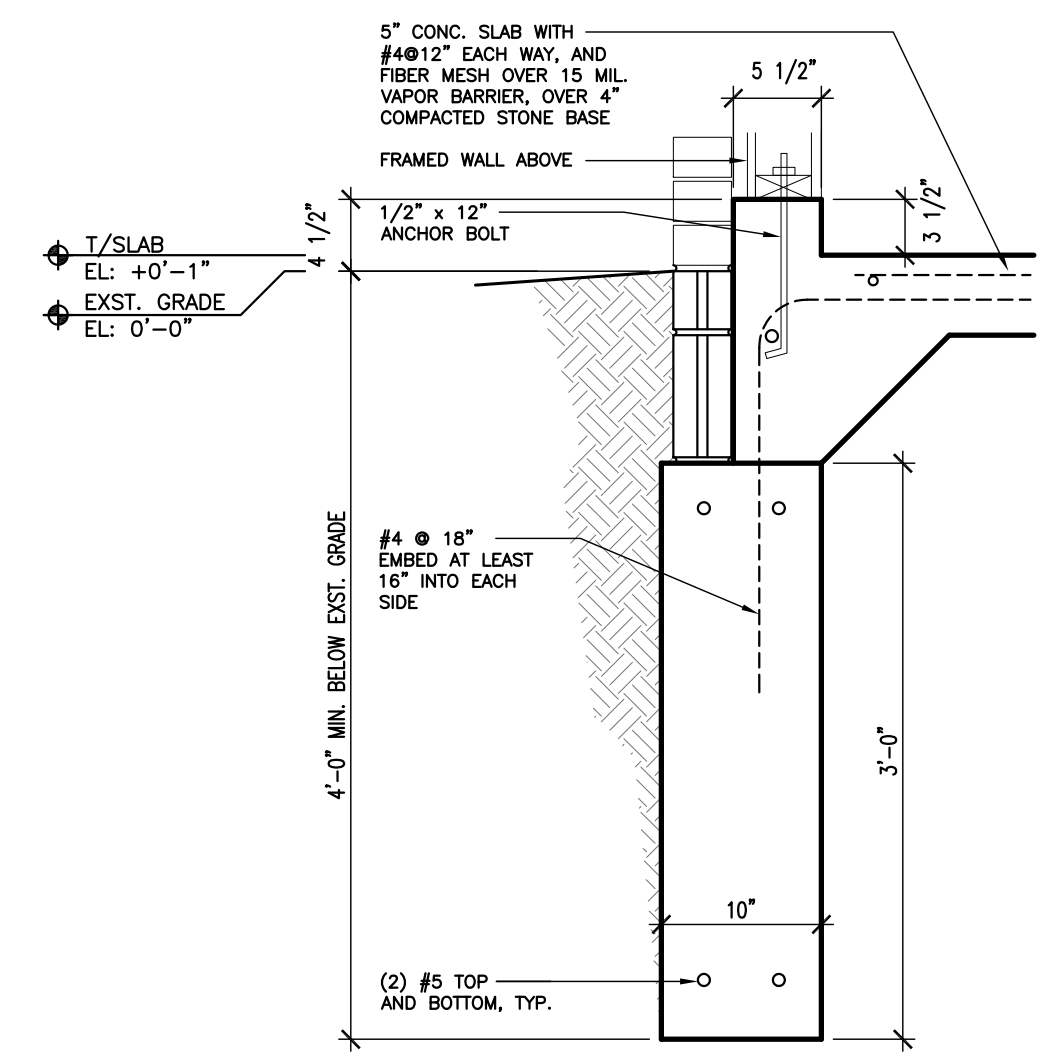
15350 Oak Park Ave  
Oak Forest, IL 60452

SHEET TITLE  
**Structural  
Specifications**

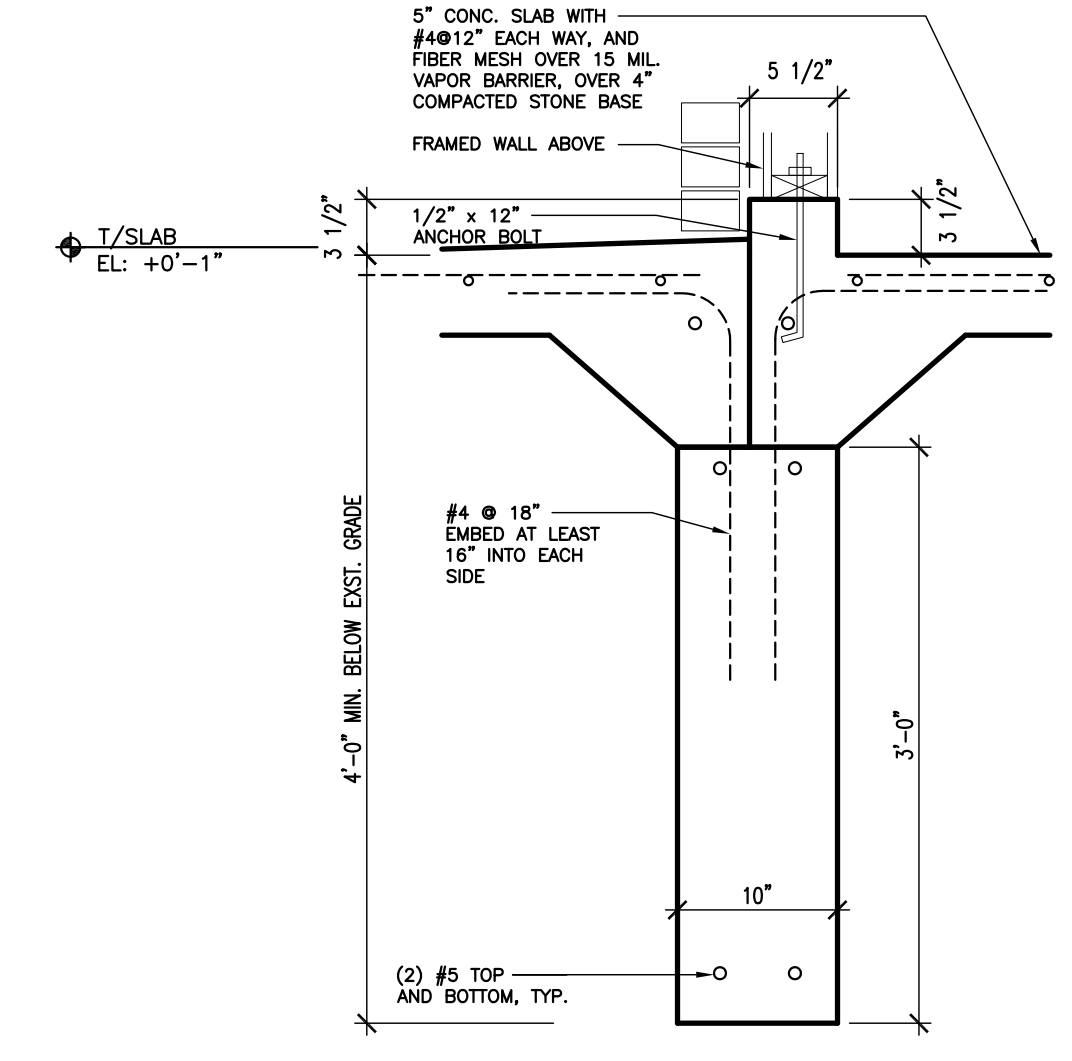
PROJECT NO.  
**21-06**

**S-1.0**

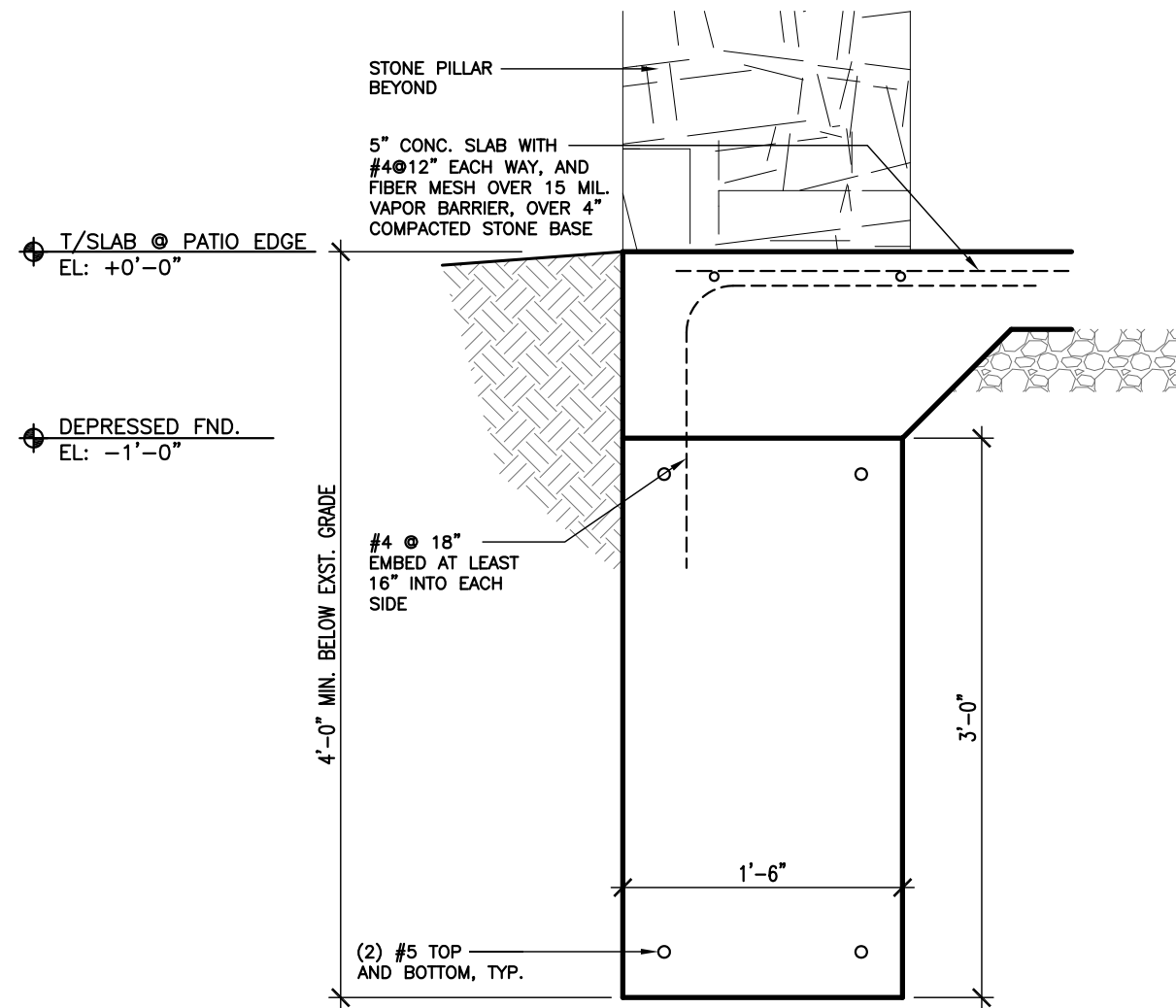




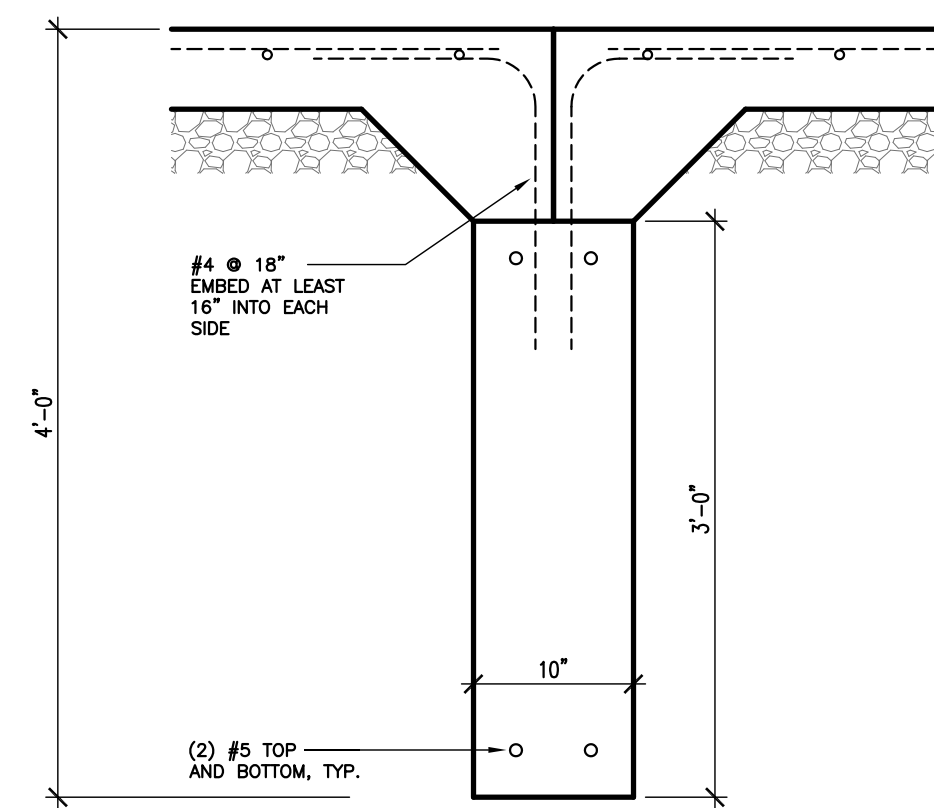
**1 Typ. Foundation Detail**  
SCALE: 1" = 1'-0"



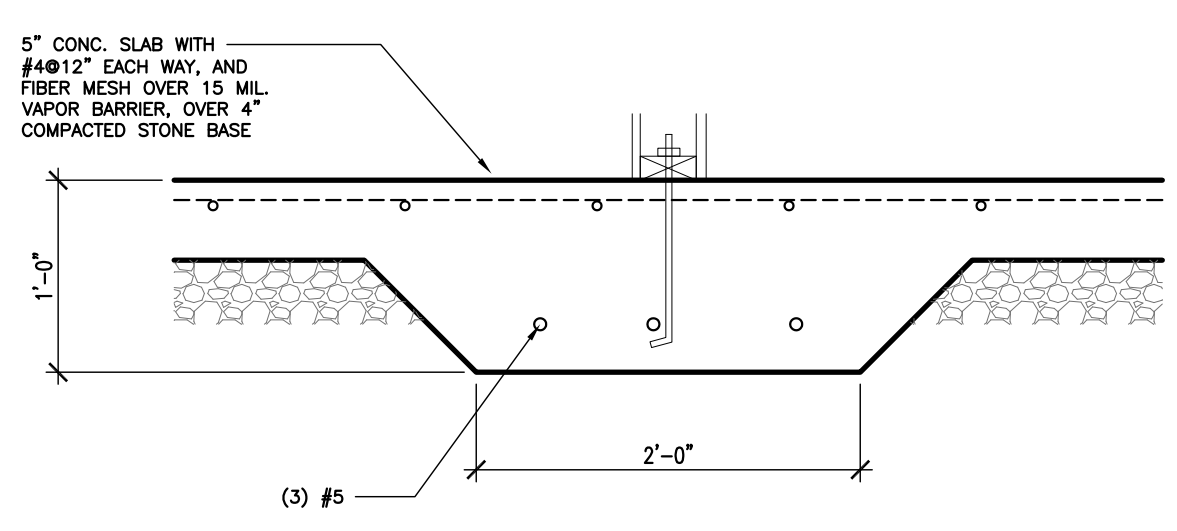
**2 Foundation Detail @ interior of patio**  
SCALE: 1" = 1'-0"



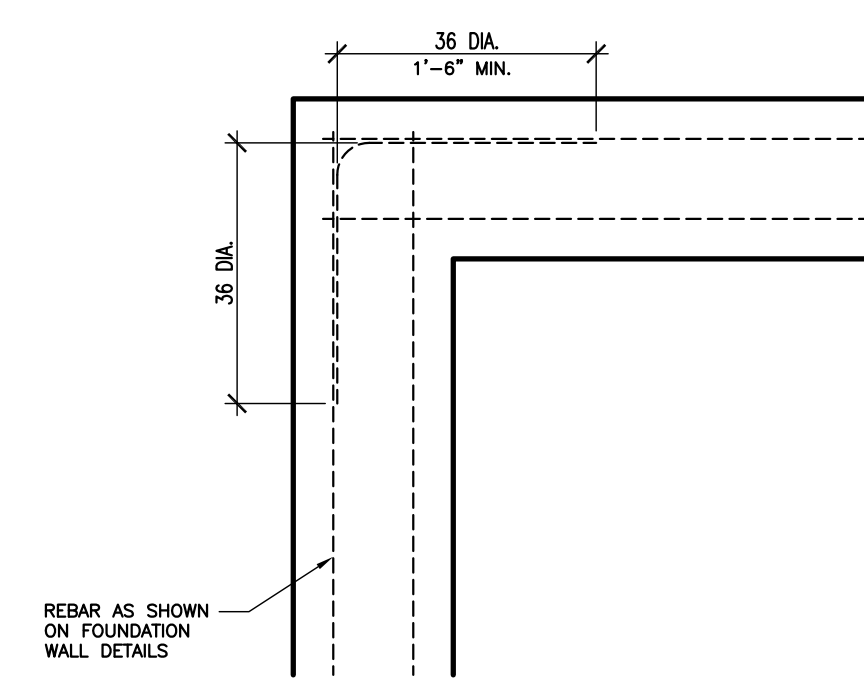
**3 Foundation Detail @ patio edge**  
SCALE: 1" = 1'-0"



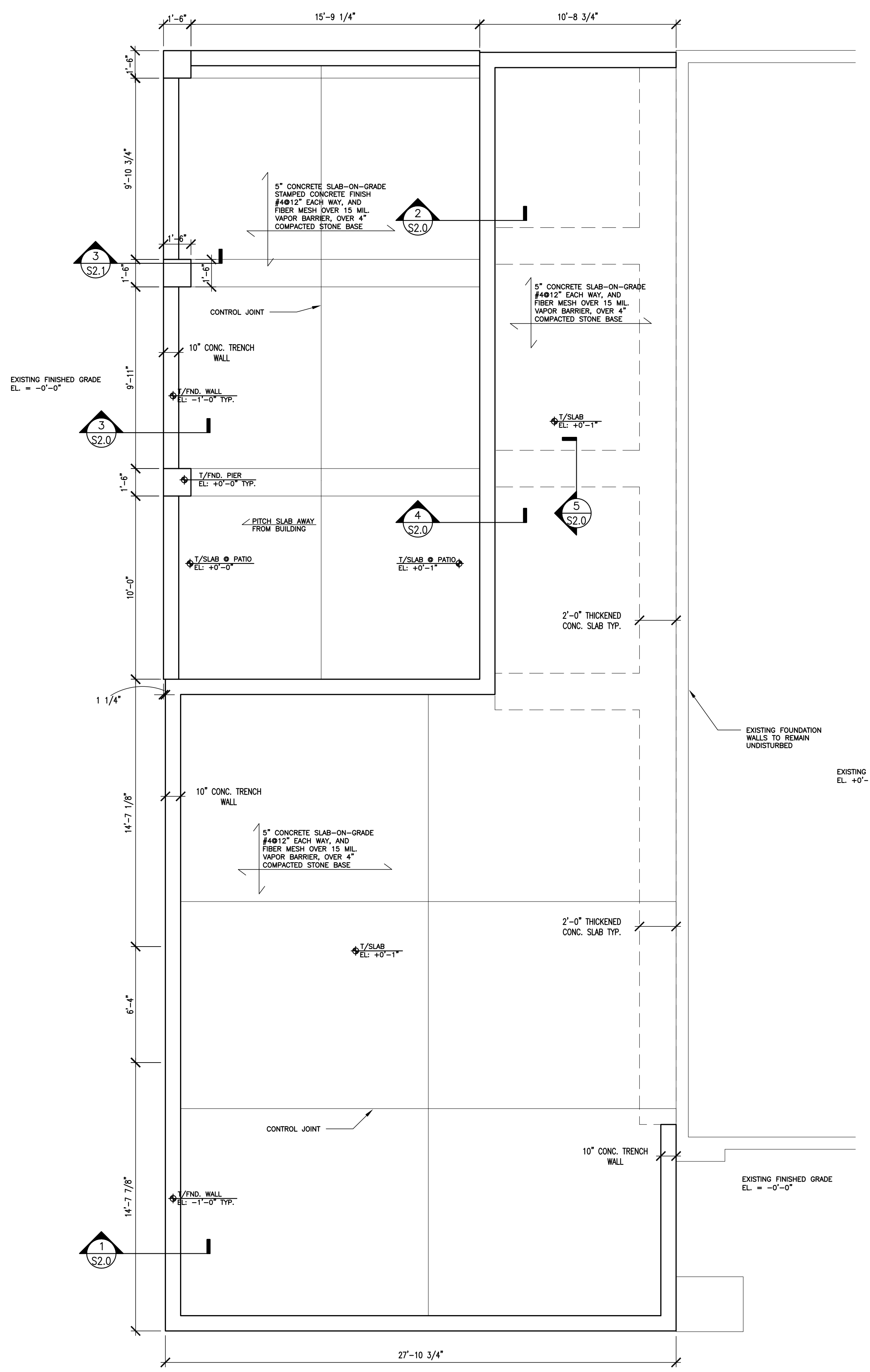
**4 Foundation Wall at Door**  
SCALE: 1" = 1'-0"



**5 Thickened Slab Detail**  
SCALE: 1" = 1'-0"



**6 Typ. Foundation Wall Corner Detail**  
SCALE: 1" = 1'-0"



**7 Structural Foundation Plan**  
SCALE: 1/4" = 1'-0"

**SCOPE DOCUMENT**

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Date Signed: 2/10/2023  
 License Expires: 11/30/2024  
 KRZYSZTOF J. KOCIOLEK  
 001.023128  
 Professional Design Firm # 184.008296

**Kociolek Design Studio**  
 krzyzkociolek@gmail.com emilykociolek@gmail.com  
 p: 312.912.2856 Frankfort, IL

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1	Design Development Set	06/17/22

**Design Development Set**

Client: **Bremen Township**  
 16361 Kedzie Parkway  
 Markham, IL 60428

PROJECT: **Senior Services Building Rear Addition**  
 15350 Oak Park Ave  
 Oak Forest, IL 60452

**Structural Plan Foundation**

PROJECT NO. **21-06** SHEET TITLE **S-2.0**

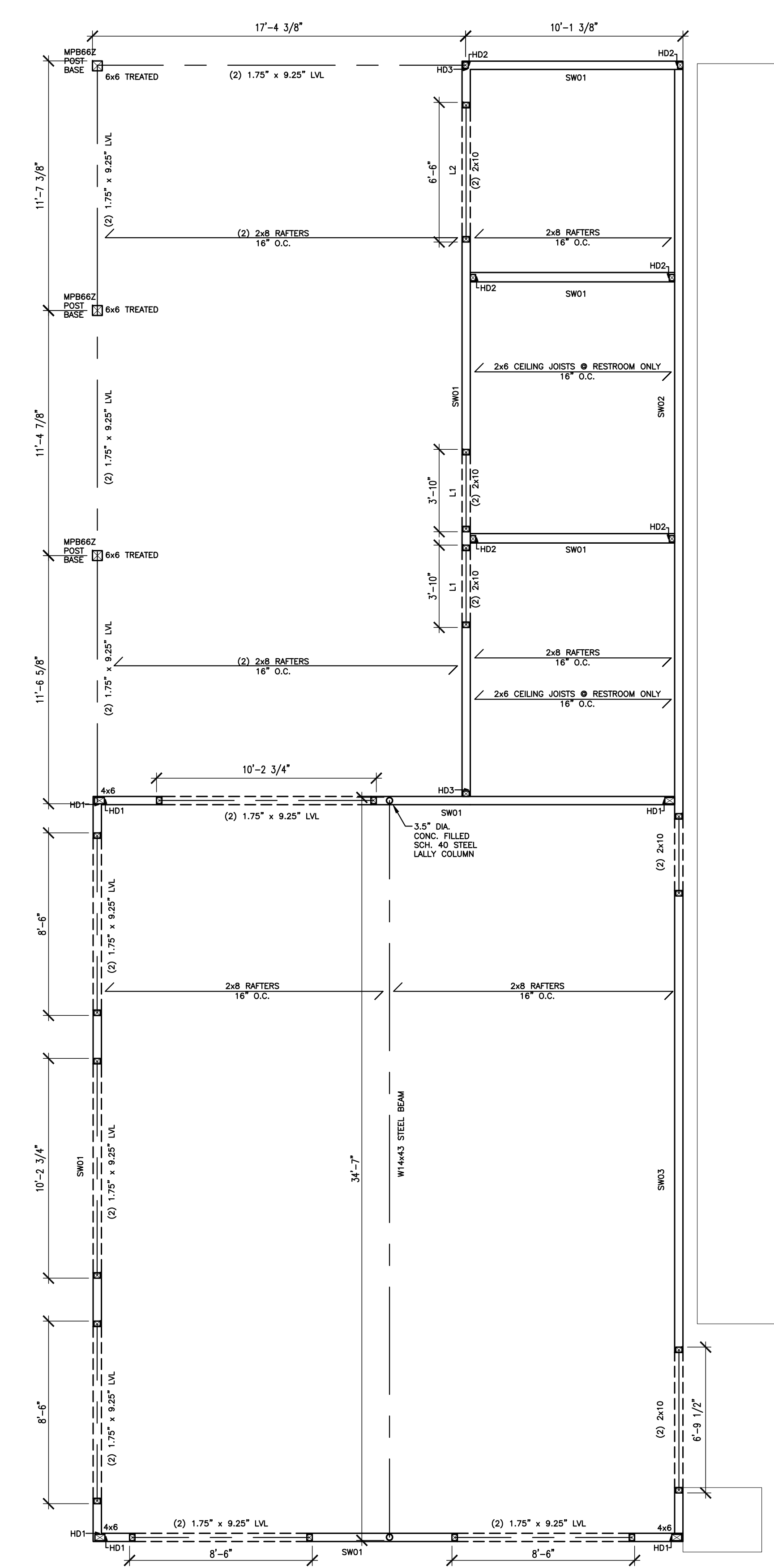
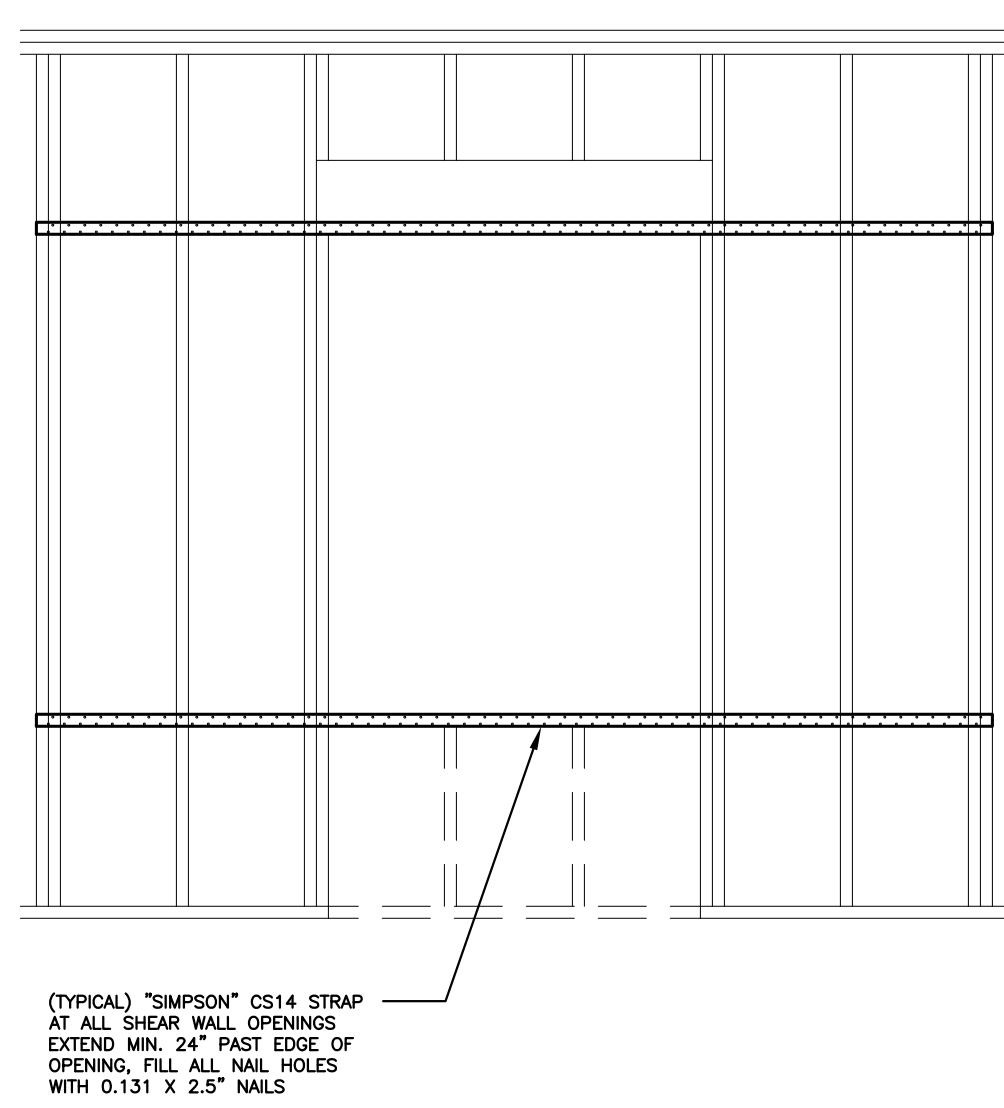
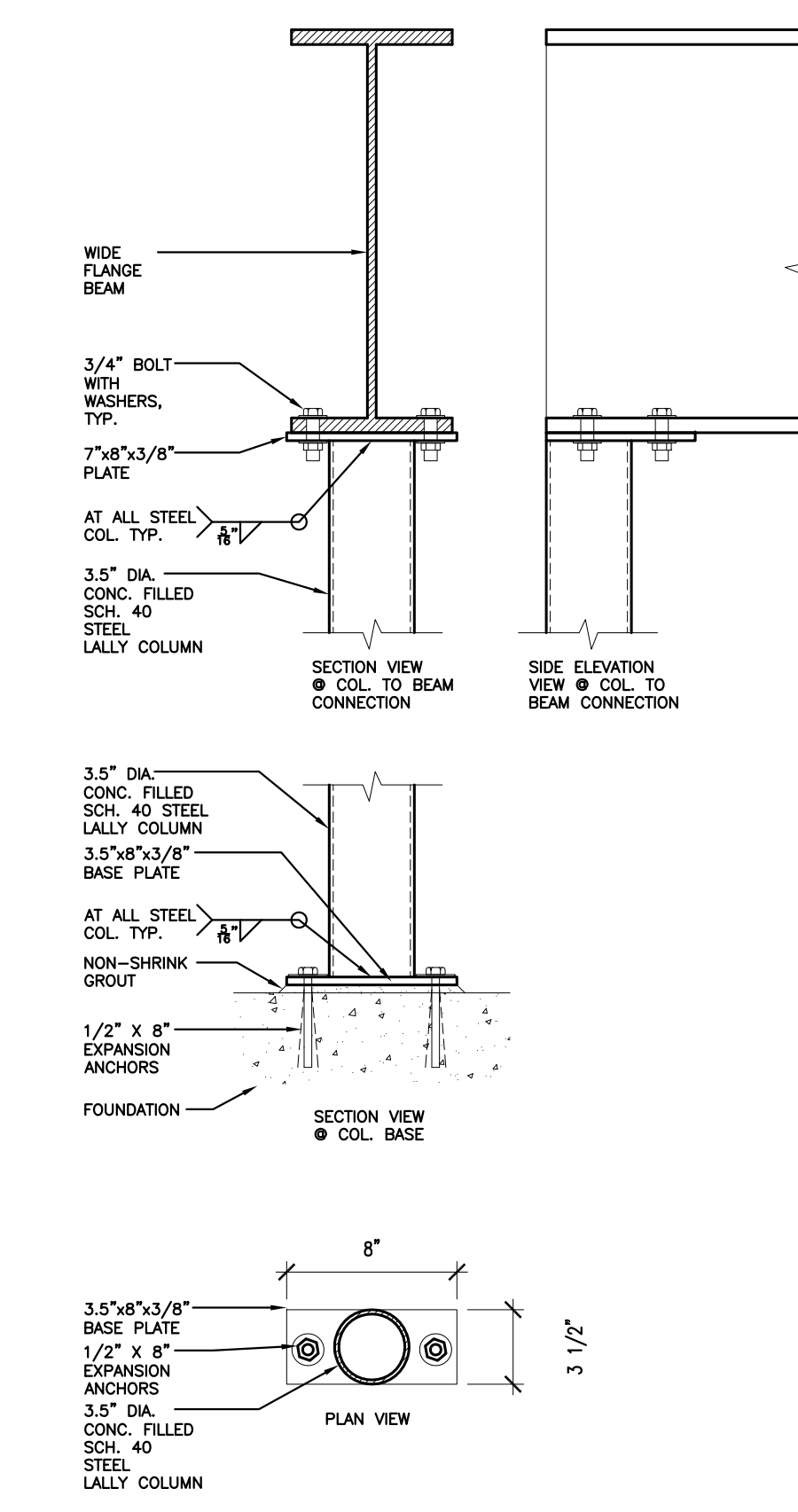
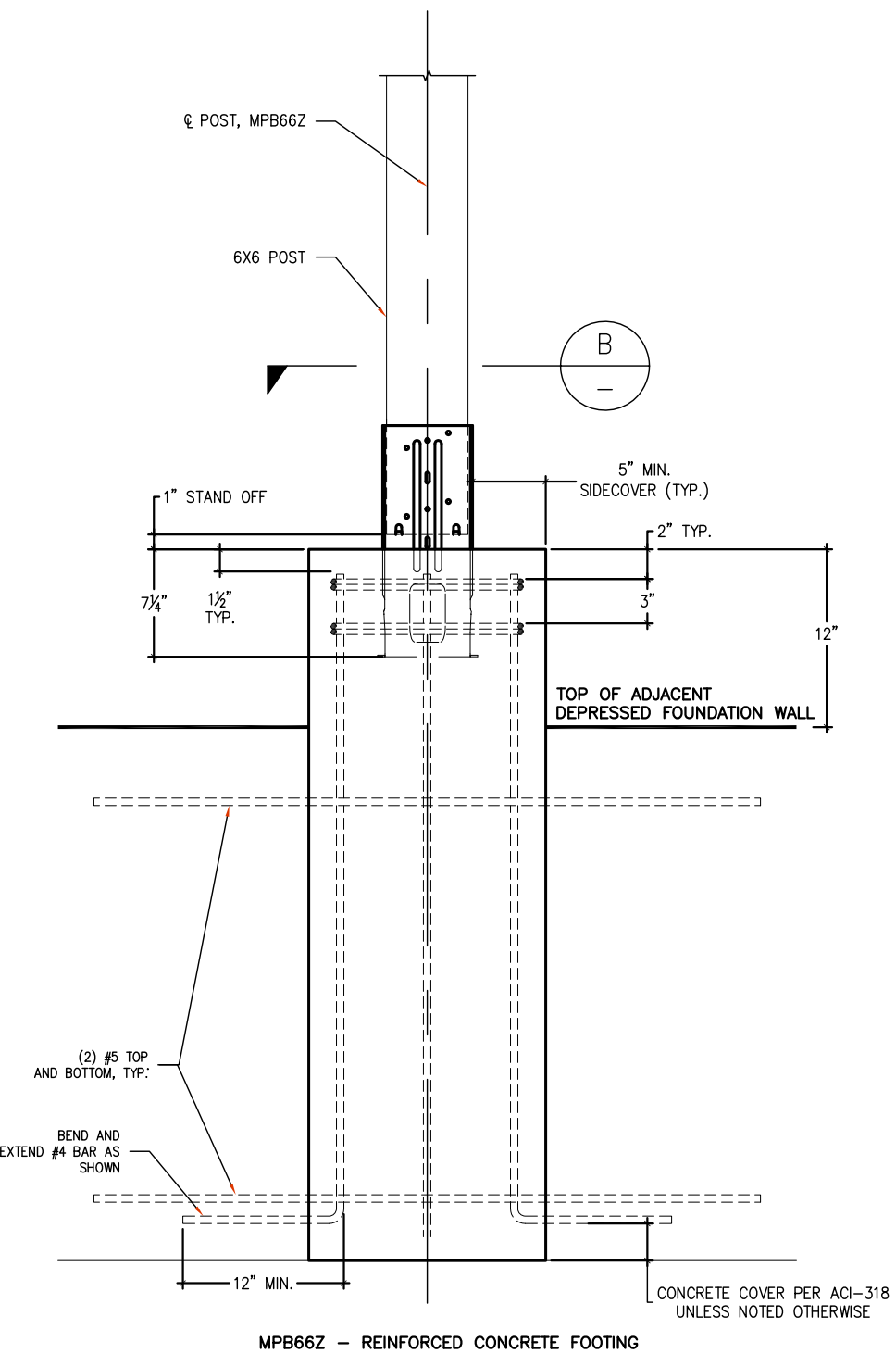
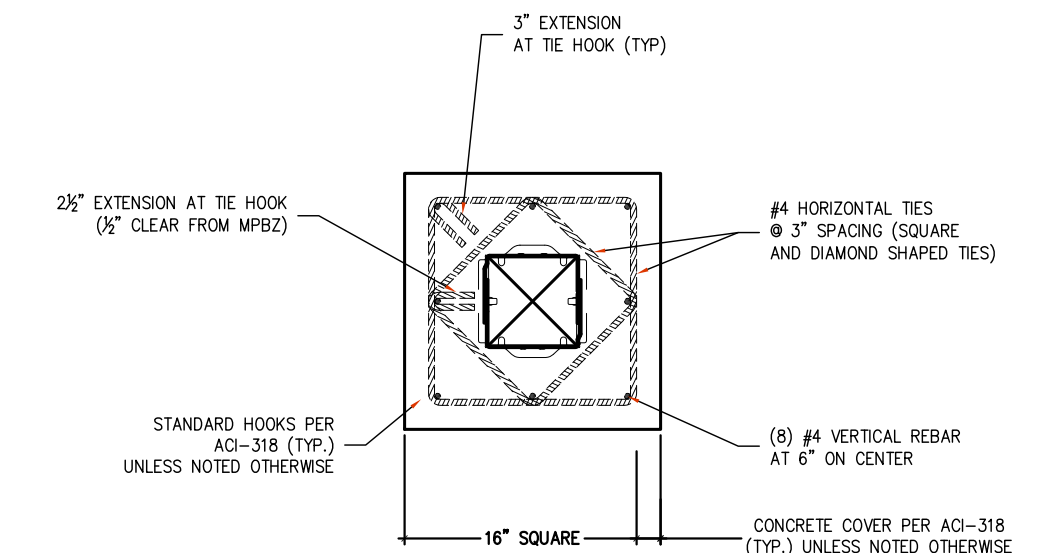
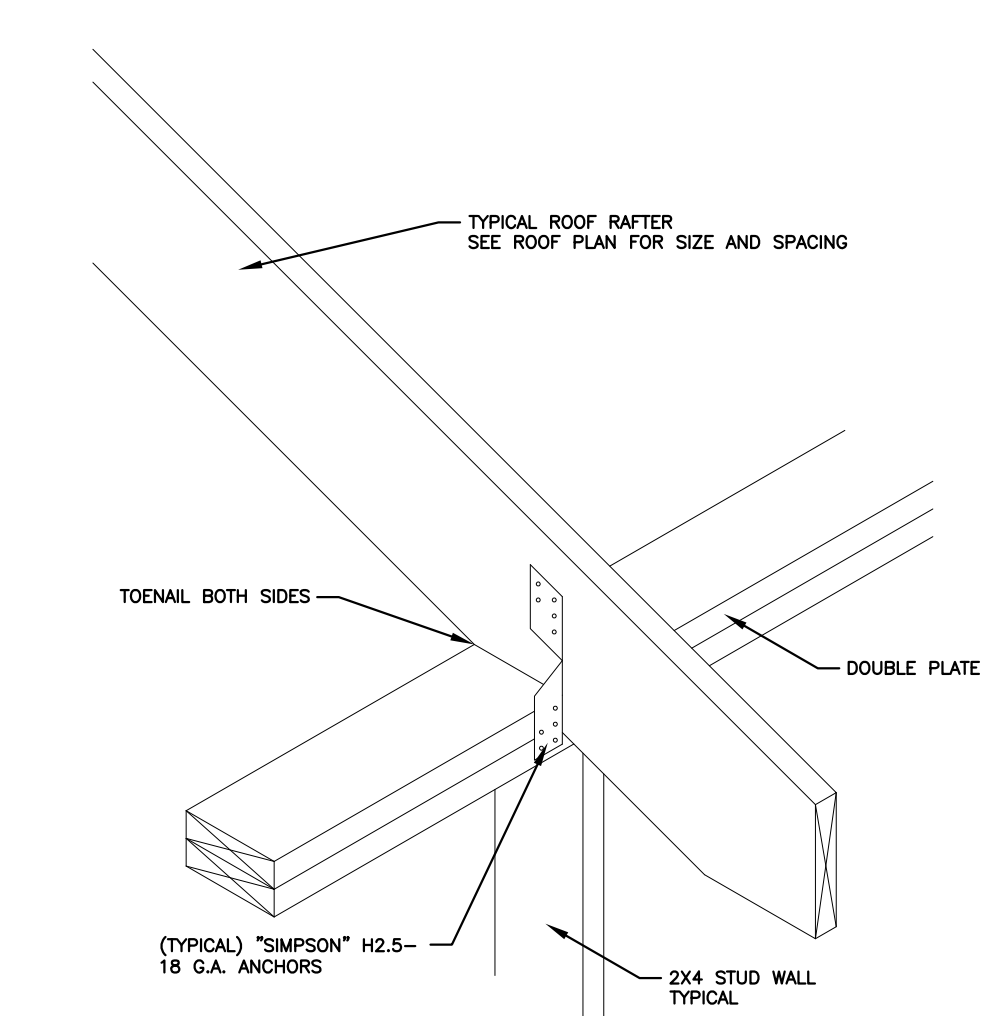


- WOOD POSTS, TYP. (2) 2x4 UNLESS LABELED OTHERWISE SEE SHEARWALL SCHEDULE AND PLAN
- HEADERS AS LABELED ON PLAN
- ALL SOLID LUMBER HEADERS SHALL HAVE SINGLE PIECE PLYWOOD FILLER TO MATCH WALL FRAMING WIDTH
- MASONRY LINTELS
  - L1 - 3x3x1/4"
  - L2 - 5x3x1/4"
  - L3 - 6x31/2x1/4"
  - L4 - 6x4x1/4"
- \*\* ANY STEEL ANGLE LINTEL SPANNING 8'-0" OR MORE SHALL BE LAG BOLTED TO WOOD HEADER

SHEAR WALL SCHEDULE									
DESIGNATION	FRAMING	SPACING	SHEATHING OUTSIDE	FASTENERS	FASTENER SPACING FIELD	SHEATHING INSIDE	FASTENER	FASTENER SPACING FIELD	
SW01	2x4 WOOD	16" O.C.	7/16" OSB	10D NAIL	8" 2"	5/8" GYP. BD.	6D NAIL	7" 4"	
SW02	2x4 WOOD	16" O.C.	5/8" GYP. BD.	6D NAIL	7" 4"	5/8" GYP. BD.	6D NAIL	7" 4"	
SW03	2x4 WOOD	16" O.C.	5/8" GYP. BD.	6D NAIL	7" 4"	5/8" GYP. BD.	6D NAIL	7" 4"	

HOLD DOWN SCHEDULE				
DESIGNATION	MODEL	END POST REQ'D	SPECIES AND GRADE	IN ADDITION TO SPECIFIC HOLD DOWNS CALLED OUT, ALL SHEAR WALLS AND LOAD BEARING WALLS TO BE ANCHORED TO FOUNDATION WITH 1/2" ANCHOR BOLTS EXTENDING 7" MIN. INTO CONCRETE, WITH OVERSIZE PLATE WASHER.
HD1	HDU5-SDS2	4x6	NO.2 DOUG. FIR	ANCHOR BOLTS TO BE SPACED 6'-0" O.C., MIN. (2) PER PLATE
HD2	HDU2-SDS2	(3) 2x4	STUD GRADE DOUG. FIR	
HD3	LTT19	(2) 2x4	STUD GRADE DOUG. FIR	



**SCOPE DOCUMENT**  
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- GENERAL NOTES**
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**KRYZ KOCIOLEK EMILY KOCIOLEK**

**Kociolek Design Studio**

krzyzkociolek@gmail.com emilykociolek@gmail.com p: 312.912.2856 Frankfort, IL

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**Design Development Set**

Client: **Bremen Township**  
 16361 Kedzie Parkway  
 Markham, IL 60428

PROJECT: **Senior Services Building Rear Addition**  
 15350 Oak Park Ave  
 Oak Forest, IL 60452

**Structural Plan First Floor and Roof**

PROJECT NO. **21-06** SHEET TITLE **S-2.1**



### GAS FIRED FURNACE SCHEDULE

AREA SERVED	QTY	TAG	MANUF. MODEL NO.	CFM	E.S.P.	H.P.	INPUT BTU	OUTPUT BTU	TYPE	VOLTS	PHASE	MOTOR FLA	MAX. FUZE	REMARKS
ADDITION	1	F1	EL296UH090XV48C LENNOX (or equal)	680-1770	Variable speed	3/4	88,000	85,000		120	1	10.1 amps	15 amps	2 Stage heat with variable speed motor

### CONDENSING UNIT SCHEDULE

AREA SERVED	QTY	TAG	MANUF. MODEL NO.	QTY OF COMP.	COMP. TONS	COMP. HLP.	REFR. TYPE	REMARKS
ADDITION	1	CU1	EL296UH090XV48C LENNOX (or equal)	1	4		410a	Provide a non-fused disconnect outside next to compressor unit per manufacturer.

### EXHAUST FAN SCHEDULE

UNIT	AREA SERVED	CFM.	S.P.	MOTOR		RPM	TYPE	MAKE AND MODEL	REMARKS
				WATTS	VOLTS/PH.				
EF-1	103 RESTROOM	110	-	7.9	120/1		DC	BROAN NUTONE - ZB110ML1	FAN HAS BUILT-IN MOTION SENSOR, SET TO OPERATE WHEN OCCUPIED
EF-2	104 RESTROOM	110	-	7.9	120/1		DC	BROAN NUTONE - ZB110ML1 (or equal)	

### MINIMUM VENTILLATION REQUIREMENTS

OCCUPANCY CLASSIFICATION	FLOOR AREA SQ. FT.	OCCUPANT DENSITY #/1000 FT2	PEOPLE OUTDOOR AIRFLOW RATE IN BREATHING ZONE	AREA OUTDOOR AIRFLOW RATE IN BREATHING ZONE, Ra CFM/FT2	EXHAUST AIRFLOW RATE CFM/FT2	TOTAL OCCUPANTS	REQUIRED			
							TOTAL OCCUPANT OA CFM	TOTAL AREA OA CFM	TOTAL OA CFM	EXHAUST CFM
PUBLIC RESTROOM	108 (2 FIXTURES)	N/A	N/A	N/A	50 CONT. / 70 INTERMIT.	N/A	N/A	N/A	N/A	70 per RESTROOM
MULTI-USE ROOM (CONFERENCE)	900	50	5	0.06	N/A	45	225	54	279	N/A

### GENERAL HVAC NOTES

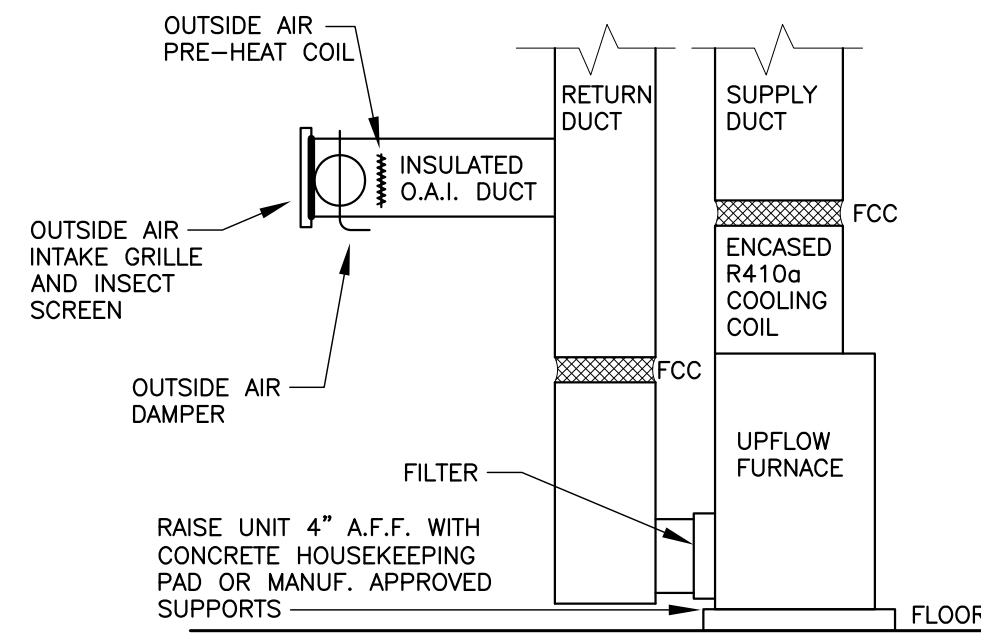
- SCOPE OF WORK**
- Provide all labor and materials, equipment, facilities, transportation, and services necessary to furnish, install and complete the heating, ventilating and air conditioning work as indicated on the drawings and specified here in. The workmanship shall be complete in every respect, be tested and approved, and be satisfactory to the architect/engineer and in accordance with local, county and state laws governing this installation, including fire marshal.
  - The drawings indicate diagrammatically the extent and location of the work included, work indicated, but having minor details obviously omitted, shall be provided, including these details, without extra cost.
  - It is the intent of these drawings to provide the heating, ventilating and air conditioning systems, inclusive of all required parts and accessories complete and ready to use as itemized but not necessarily limited to the following:
    - Split heating and cooling system
    - Gas piping
    - Refrigerant piping
    - HVAC drain piping
    - All heating, air conditioning, and exhaust ductwork
    - Duct lining and thermal insulation
    - Bases, platforms, supports and hangers, vibration isolators
    - Equipment, piping, ductwork and valve identification
    - Test and balancing with report
    - Thermostats

- WORKMANSHIP AND GUARANTEES:**
- All materials shall be new and of first quality. All labor shall be executed in a neat, workmanlike manner and shall be performed by mechanics skilled in their respective trades. Design professional of record shall decide all matters pertaining to the quality of workmanship and materials.
  - This contractor shall guarantee his work to be free from defective workmanship and materials for a period of one year from date of final certificate of occupancy. Any repairs or replacement during the period shall be made without cost to the owner, upon his or her request.

- DUCTWORK**
- All ductwork shall be galvanized sheet steel, lock forming quality, fabricated with the current edition of the ASHRAE and SMACNA.
  - Duct dimensions shown on drawings are inside dimension. Increase duct size when lining is used. All ductwork shall be coordinated with ceiling heights shown on plans. HVAC contractor to coordinate trade work sequence as needed for all soffited areas.
  - Supply and Return main trunk duct shall be insulated with 1" sound attenuation lining (ducts 6" or bigger only): Certain-Teed/St Gobain - Model:Ultra Liner, or equal
    - Semi-rigid glass fiber blanket, 1" thick, (2) lbs./cu.ft. density, K value of 0.25 at 75 degrees
    - Facing: NFPA 90A and 90B, fire-resistant neoprene coating or glass fiber mat.
    - Temperature Range: 35 degrees F to 180 degrees F.
    - Air Velocity: Up to 4000 ft./min.
    - Fire Hazard Class: 25 maximum flame spread; 25 max. fuel contributed; 50 max. smoke developed.
  - All ductwork in fire rated walls, ceilings, and soffits shall be provided with listed dampers. All dampers must be accessible either from the register or from a rated access panel or from the attic.
  - All branch duct take-offs will be equipped with tapered fittings.
  - Provide volume dampers for air balancing purposes on all low pressure supply and return ductwork branches and to air diffusers, registers, and grilles.
  - All duct systems will be tested for pressure and leakage. Submit test data to owner and architect.
  - All ducts are located within thermal envelope of the building and need not be insulated.
  - HVAC contractor shall contract with a qualified and certified member of NEBB or AABC to completely balance air systems as required. Contractor to submit a test and balance report to the owner and architect prior to final project acceptance.

- PIPING SYSTEMS AND MATERIALS**
- Refrigerant piping: ACR Hard Drawn. Shall be insulated
  - HVAC drain piping: Schedule 40 PVC
  - Gas Piping: Schedule 40 steel pipe

- TEMPERATE CONTROL**
- The complete system shall be capable of maintaining a minimum of 68 degrees in winter and 72 degrees in summer in all occupiable spaces.
  - Basis of design for temperature control of the Forced Air Gas Heat / AC split unit: Honeywell Prestige IAQ Red Link programmable thermostat model "YTHX9421R5101WW" or equal. This thermostat shall be mounted in a lockable clear plastic guard box in the multi-purpose room.
  - Thermostat shall employ the use of outdoor sensors and remote indoor sensors. Thermostat shall be set to maintain all occupiable spaces as well as the mechanical room and the conditioned attic connected to it at a minimum of temperature of 50 degrees during winter to keep fire sprinklers from freezing. When in winter "unoccupied" mode, the Outside Air intake shall be closed. Install remote sensors as needed in mechanical room and conditioned attic.
  - HVAC contractor to set up and train the owner in use of installed thermostat, including delivery of 2 copies of printed manuals.



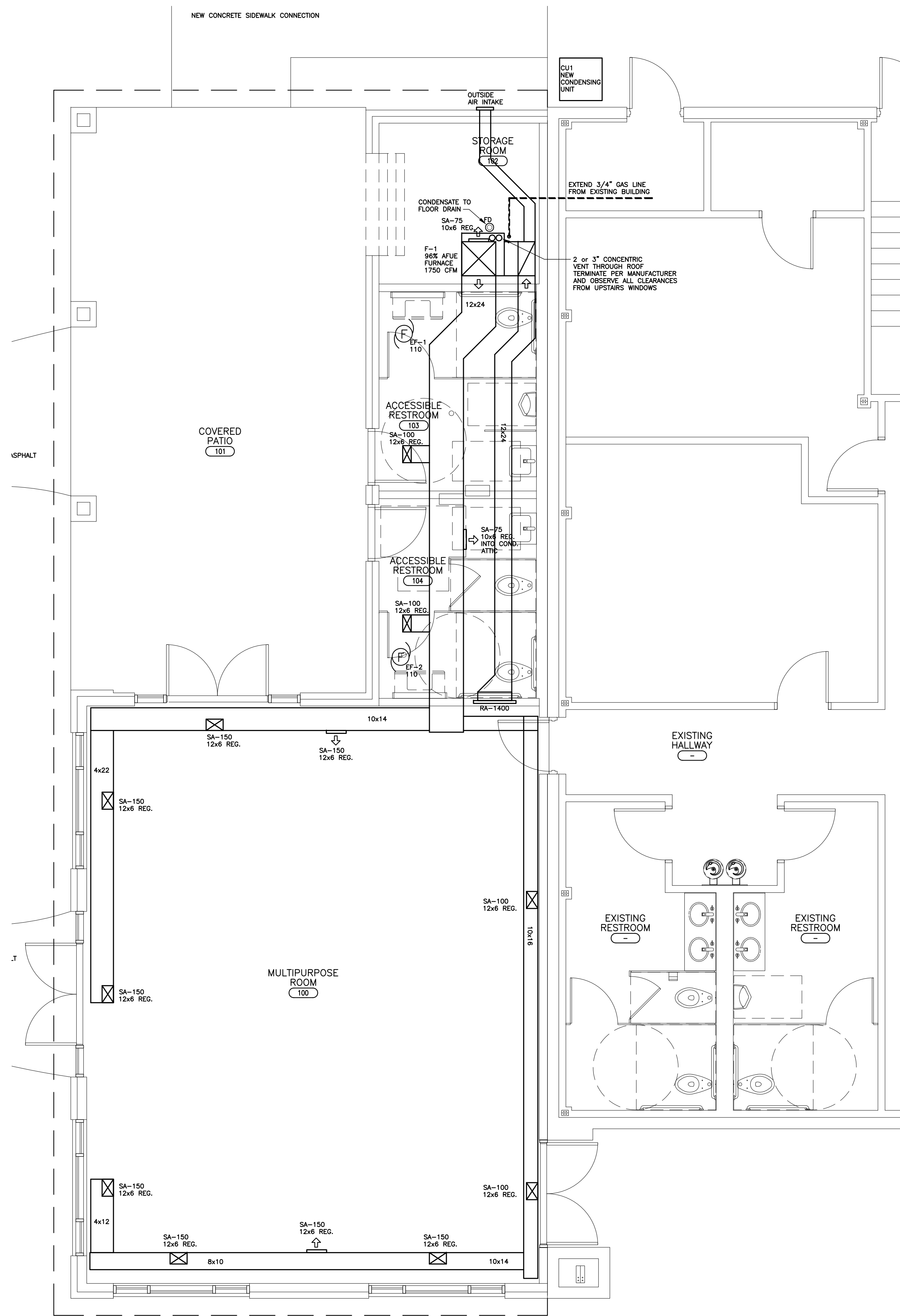
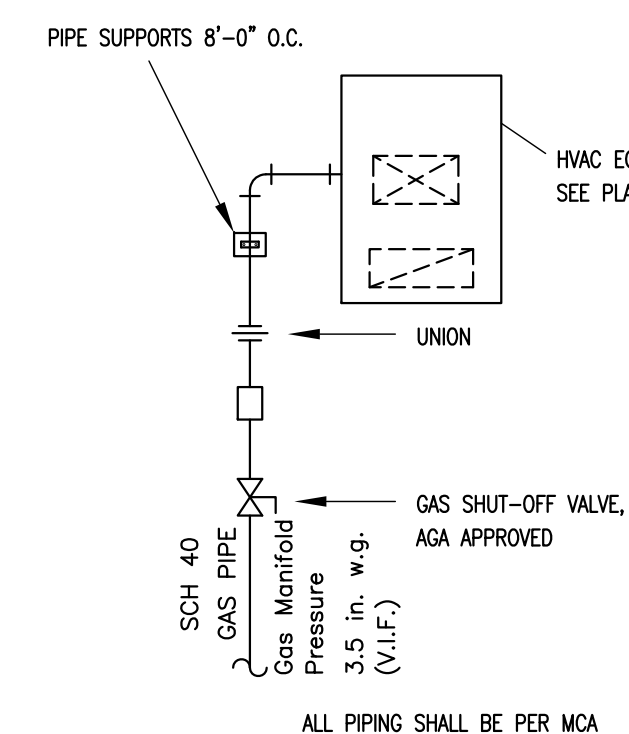
**OUTSIDE AIR PREHEAT SEQUENCE**  
 The manufacturer requires a minimum mixed air temperature (MAT) of 55 degrees. Provide a mixed air temperature sensor midpoint between the return mixing and filtration to sense the MAT. If the temperature falls below 60 degrees (adjustable), the electric reheat shall energize to maintain the set minimum temperature. The electric coil shall be equipped with UL label, an air proving switch, SCR control and high temperature/voltage safety. Install the electric heater per the manufacturer's recommendations and configuration. If the electric duct heater fails, the OA motorized damper shall close to protect the furnace. The OA damper shall remain closed during the winter "unoccupied" mode when building is not occupied and temperature in the building is only being tempered to 50 degrees

**MOTORIZED OUTSIDE AIR DAMPER.**  
 Provide a 24v motorized damper, MAT sensor, and occupied / unoccupied interlock. Damper in two positions. Position #1 is closed during unoccupied mode or if the MAT falls below 56 degrees. Position #2 is the code minimum position balanced to the CFM indicated in table above.

**GRILLES AND REGISTERS**  
 Provide 5800 Series Krueger Supply registers or equal at all supply register locations.

**\* ALL HVAC DAMPERS, CONTROLS, SENSORS, ETC. SHALL BE FROM SAME MANUFACTURER (BASIS OF DESIGN - HONEYWELL), OR FROM EQUAL NATIONAL MANUFACTURER. IF USING MIXED MANUFACTURER COMPONENTS IT IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR TO VERIFY COMPATIBILITY AND SYSTEM PERFORMANCE MEETS THE DESIGN INTENT SHOWN ON THE PLANS**

**TYPICAL GAS CONNECTION DETAIL TO HVAC EQUIPMENT**



### SCOPE DOCUMENT

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### GENERAL NOTES

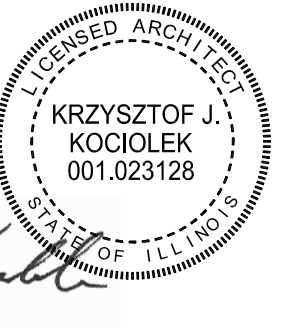
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- Ceramic tile on floors and walls shall be installed in premium polymer modified thinset mortar installed per manufacturer, u.n.o.
- Grout color selection by owner. All grout to be Tec PowerGrout 550 or equal. Use matching caulk from same manufacturer for all joints subject to movement.
- All drywall walls to receive 1 coat of primer and 2 coats of paint. All paint to be Benjamin More Regal Select or equal.
- All fire rated walls which require 5/8" gyp. board which may be exposed to water shall use 5/8" dens glass exterior grade fire rated sheathing.
- All interior gyp. board corners shall be NO-COAT® Structural Laminate (SLAM®) drywall corners by CertainTeed or equal heavy duty corner bead.

I hereby certify that these plans were made under my supervision and to the best of my professional knowledge and belief comply with the provisions of the applicable codes and ordinances of the governing body having jurisdiction.

I also certify that I am the registered energy professional (PEng). I also certify that to the best of my professional knowledge and belief that these plans fully comply with the requirements of the most current energy code in effect.

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Date Signed:  
2/10/2023  
License Expires:  
11/30/2024



Professional Design Firm # 184.008296

**KRYZ KOCIOLEK  
EMILY KOCIOLEK**

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1	Design Development Set	06/17/22

### Design Development Set

Client  
**Bremen Township**  
16361 Kedzie Parkway  
Markham, IL 60428

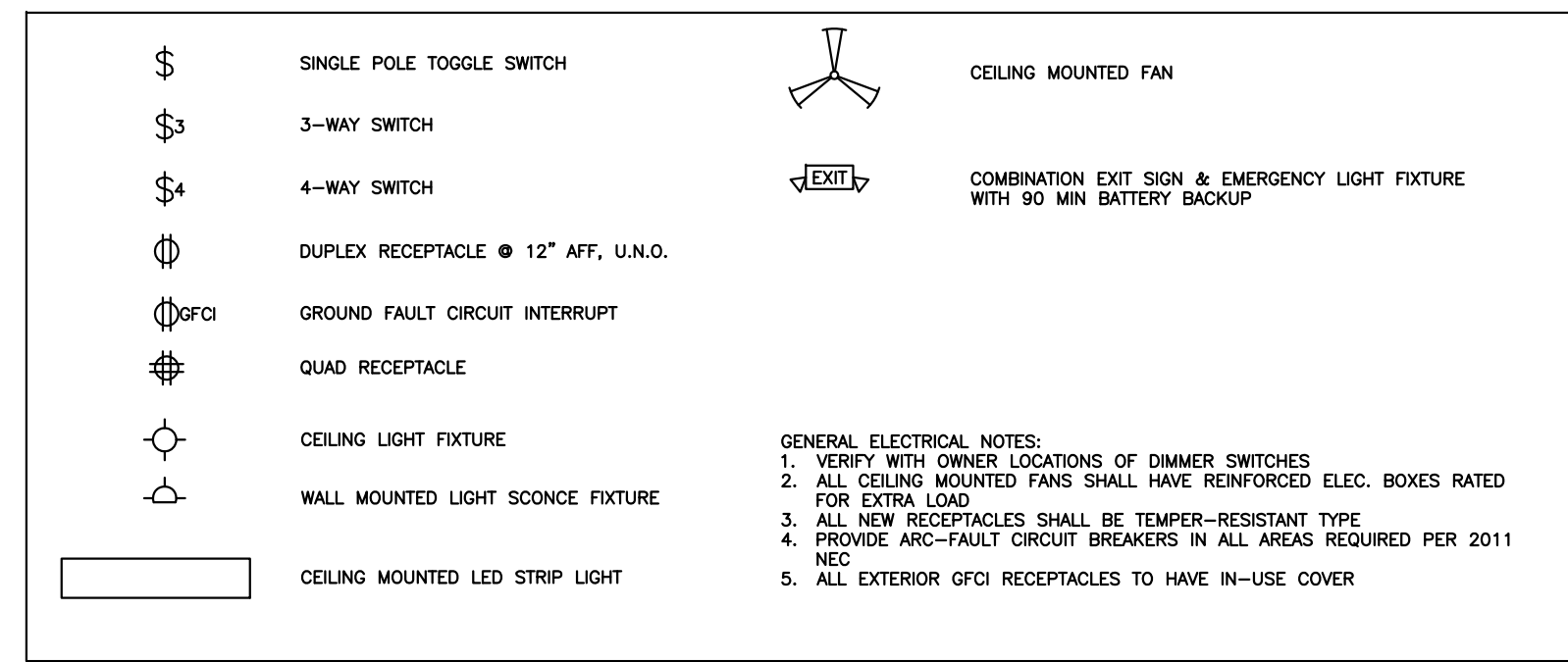
PROJECT  
**Senior Services Building Rear Addition**  
15350 Oak Park Ave  
Oak Forest, IL 60452

### SHEET TITLE Mechanical Plan and Specifications

PROJECT NO. <b>21-06</b>	<b>M-1.0</b>
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**ELECTRICAL SYMBOLS AND LEGEND**



**ELECTRICAL - GENERAL:**

- In general, all work performed under this contract shall meet or exceed the latest requirements of 2018 Chicago Electrical Code.
- Provide all labor, equipment, and material, etc., necessary to make a complete electrical installation as shown on drawings.
- Minimum 90% of all new permanent light fixture shall utilize high efficiency light bulbs.
- All wiring to be run in EMT (Electrical Metallic Tubing)
- All conductors shall be installed in approved metallic raceways.
- All electrical utility services shall only be installed in rigid metal conduit (or other material as approved), or intermediate metal conduit (or other material as approved) above ground and entering the building.\* a. All underground branch-circuit and feeder conductors shall be protected against over-current by an over-current device installed at the point where the conductors receive their supply and all sub-panels will have a main breaker located at the panel. b. All conduits entering a building shall be sealed with duct seal or other approved method to prevent moisture and condensation from forming inside the conduit.
- In all cases duly licensed by a commission in the State of Illinois that provides a test for electrical competency, a bonded Electrical Contractor shall install electrical services and wiring.
- Studs, plates and joists must be drilled so as not to break the front half of the wood. If it is broken and the conduit is exposed, a 16 gauge metal plate must be placed across the opening.
- All exterior GFCI outlets to have weatherproof in-use cover.

**ELECTRICAL - WIRING:**

- All wiring to be THHN copper conductors.
- Branch circuit home runs over 75 feet long at 250 volts shall be one wire size larger than the ampere rating of protective device.
- Branch circuit home runs for 120 volt circuits over 80 feet long and for 277 volt circuits over 120 feet long shall be one standard wire size larger than what is required for the ampere rating of protective device.

**ELECTRICAL - DEVICES:**

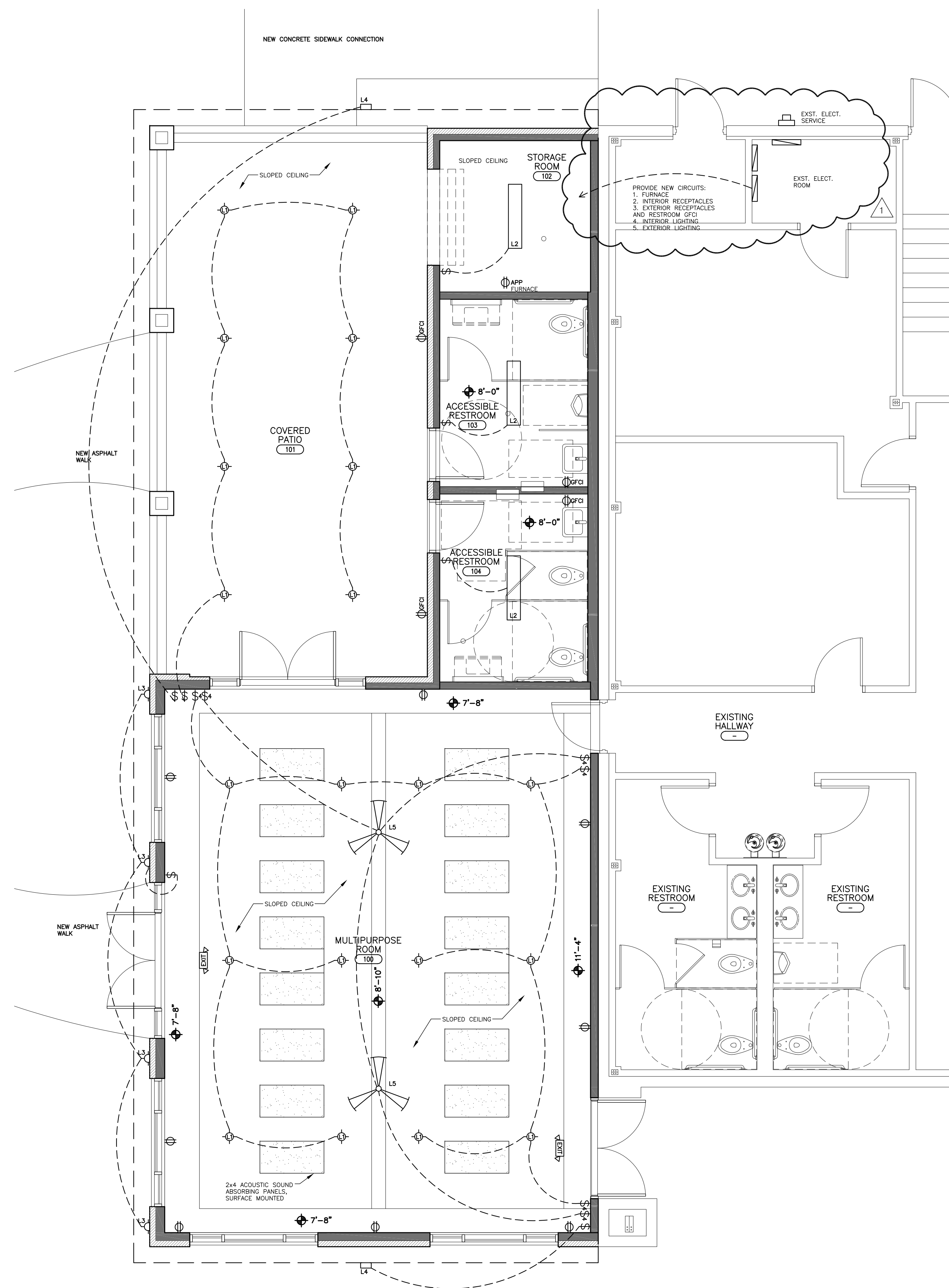
- Special receptacles as noted on plans. Contractor shall verify appliance and equipment wiring and receptacle requirements and shall provide receptacles as required.
- Switches in restrooms and storage room shall be occupancy sensor type by Hubbel or Lutron or equal.
- Switches in multi-purpose room to be dimmer type Hubbel or Lutron or equal. All dimmers to be compatible with lighting fixtures indicated on plans and schedules.
- Color of all switches, receptacles and cover plates to be white, non breakable.
- Provide rough in for motorized shades at all windows, coordinate with manufacturer requirements.
- Provide power as required at each bathroom sink for faucet sensor, coordinate with manufacturer requirements.
- Exterior security lights "L3" and "L4" shall be provided with timer controls. Regular switches shall provide for override controls only.

**ELECTRICAL - LIGHTING:**

- Each ceiling fixture shall be rigidly supported from the building construction.
- Electrical contractor shall coordinate with the ceiling contractor, insulation contractor, a mechanical contractor. Failure to coordinate will make the electrical contractor responsible for all cost relating to light fixture locations and changes.

**Lighting Schedule**

Type	Description	Mounting	Lamps	Voltage	CCT	Input Watts	Manufacturer	Model No.	Switching
L1	6" diameter disk surface mount round downlight, 1000 nominal lumens	Surface	LED	120-277V	4000K	11.5	Prescolite	LBSD 6RD CS9 WH	Dimmer with Occupancy Sensor (no sensor on Patio)
L2	Contractor Select 4' LED Wrap, 5000 nominal lumens	Flush	LED	120-277V	4000K	53.4	Lithonia Lighting	FML4W 48 ALO6 SEF 840 MVOLT	Occupancy Sensor
L3	Outdoor General Purpose LED Wall Cylinder Light, 1000 nominal lumens	Surface	LED	120-277V	4000K	14	Lithonia Lighting	OLLWU LED P1 40K MVOLT DDB	Timer
L4	WDGE LED Architectural Wall Scone, 2000 lumens	Surface	LED	120-277V	4000K	15	Lithonia Lighting	WDGE1 LED P2 40K 80 CRI VW MVOLT SRM DDBXD	Timer
L5	Trimaran Outdoor 52" Low Profile Ceiling Fan with Wall Controls	Surface	None	-	-	-	Hunter	59610	Wall Control



**1 Electrical Reflected Ceiling Plan**  
 SCALE: 1/4" = 1'-0"

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- Grout color selection by owner. All grout to be Tec PowerGrout 550 or equal. Use matching caulk from same manufacturer for all joints subject to movement.
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*Krzysztof J. Kociolek*

Professional Design Firm # 184.008296

**KRYZ KOCIOLEK EMILY KOCIOLEK**

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 Markham, IL 60428

PROJECT  
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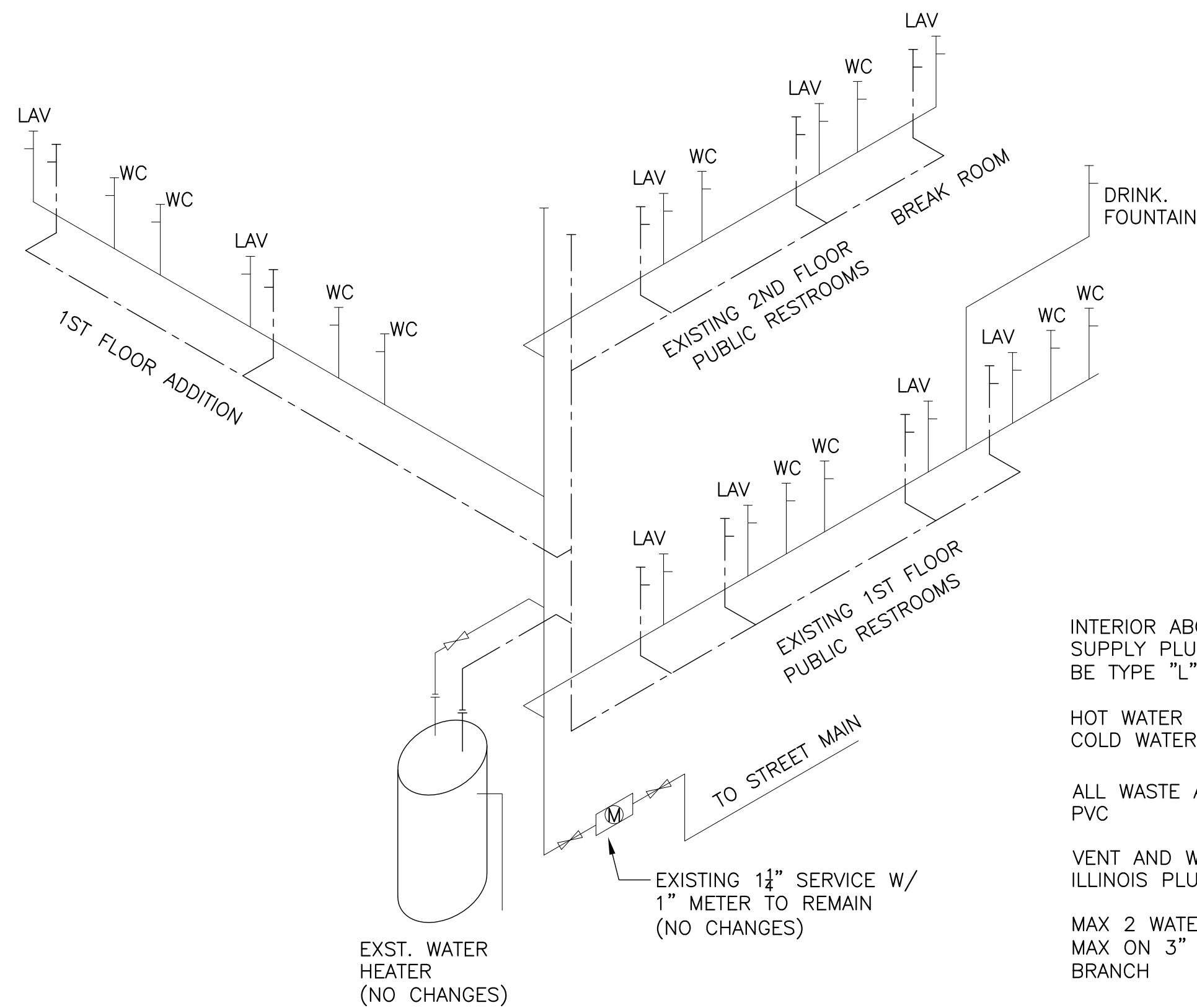
SHEET TITLE  
**Electrical Reflected Ceiling Plan**

PROJECT NO.  
**21-06**

SHEET NO.  
**E-1.0**

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INTERIOR ABOVE GRADE SUPPLY PLUMBING SHALL BE TYPE "L" COPPER

HOT WATER LINE COLD WATER LINE

ALL WASTE AND VENT PIPING TO BE PVC

VENT AND WASTE PIPE SIZING PER ILLINOIS PLUMBING CODE

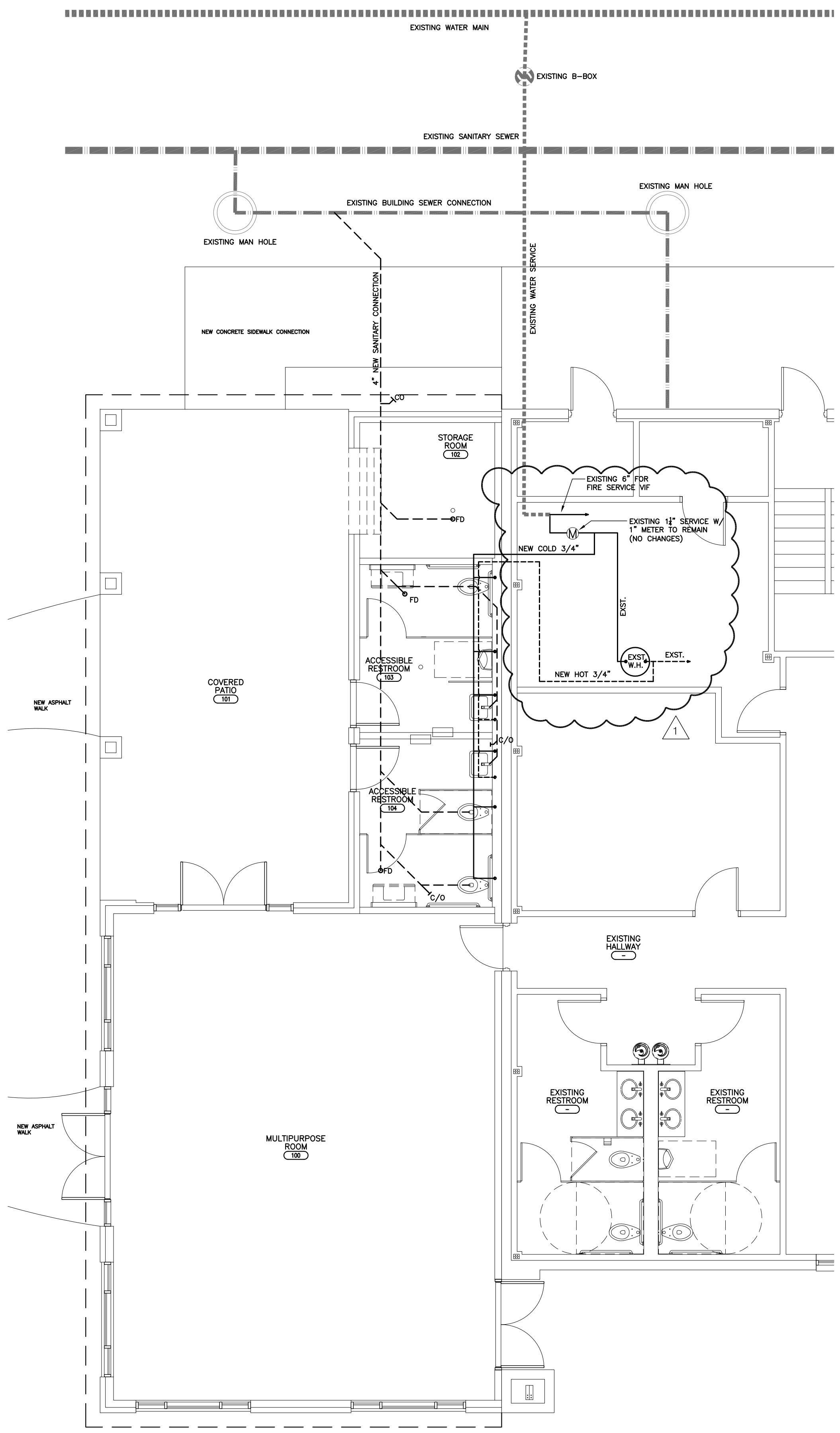
MAX 2 WATER CLOSETS OR 20 DFU  
MAX ON 3" HORIZONTAL FIXTURE BRANCH

PLUMBING FIXTURE COUNT			
TYPE OF FIXTURE	NO.	WSFU EACH	WSFU TOTAL
WATER CLOSET	5	3	15
LAVATORY	6	1	6
URINAL	1	5	5
SHOWER STALL	0	2	0
KITCHEN SINK	1	2	2
UTILITY SINK / MOP BASIN	1	2	2
DRINKING FOUNTAIN	2	0.25	0.5
DISHWASHER	0	1	0
<b>TOTAL</b>			<b>30.5</b>
WATER CLOSET	3	3	9
LAVATORY	2	1	2
URINAL	1	5	5
SHOWER STALL	0	2	0
KITCHEN SINK	0	2	0
UTILITY SINK / MOP BASIN	0	2	0
LAUNDRY MACHINE	0	2	0
DISHWASHER	0	1	0
<b>NEW TOTAL</b>			<b>46.5</b>
<b>TOTAL WSFU CAPACITY</b>		<b>SERVICE SIZE</b>	<b>METER</b>
19	3/4"	3/4"	
29	1"	3/4"	
34	1"	1"	
59	1 1/4"	1"	
99	1 1/2"	1 1/2"	
<b>EXISTING</b>		<b>1 1/4"</b>	<b>1"</b>
<b>UPGRADE REQUIRED?</b>	<b>NO</b>		

**GENERAL PLUMBING NOTES**

- All work shall comply with all local codes and ordinances.
- All water supply plumbing to be type "L" copper.
- All underground water supply plumbing to be type "K" copper.
- Do not use air chambers. Install listed hammer arrestors at all fixtures and at all risers.
- Provide shut off valve at each fixture.
- Provide shut off valves with drain downs at main lines for the addition.
- All waste below grade to be schedule 40 PVC
- Provide thermostatic pressure balance valves at each new lavatory.
- All new plumbing fixtures to be Water Sense labeled.
- All floor drains to be vented.
- All piping to be supported per manufacturer specifications or applicable codes, whichever is more stringent.
- Protect water pipes in walls with strike plates as needed.
- All supply plumbing shall be insulated. Cold and cold water piping shall have light density fiberglass pipe insulation 1/2" thick with vapor barrier jacket.
- Provide polished chrome escutcheons where pipes pass through walls at fixtures visible to view.
- Water and drainage system shall be tested in compliance with the plumbing code.
- Contractor shall visit site and review the scope of work required to provide plumbing installation ready for use and complete in every aspect.
- Plumbing contractor shall submit manufacturers' specification for all fixtures and equipment to owner prior to ordering.
- Final installation shall comply with the 2018 Illinois Accessibility Code and the 2014 Illinois Plumbing Code.

Item	Manufacturer	Model No.	Description	Quantity	Notes
Toilet	American Standard	209AA137 w/4385A187	Yorkville VorMax Right Height Elongated Toilet with Locking tank cover	3	
Toilet Seat	American Standard	5901100SS.020	Commercial Heavy Duty Open Front Elongated Toilet Seat with EverClean Surface and Self Sustaining Hinges	3	
Urinal	American Standard	6581.001EC	Maybrook Universal Urinal with EverClean	1	
Urinal Flush Valve	American Standard	6045.051.002	0.5 gpf Flush Valve: Manual-Operated	1	
Sink	Elkay	ELVWO2219SACC	Stainless Steel 22"x19"x5 1/2" Wall Hung Lavatory Sink Kit with sensor faucet	2	



NORTH

**1 Plumbing Plan**  
SCALE: 3/16" = 1'-0"

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SHEET TITLE  
**Plumbing Plan and Specifications**

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